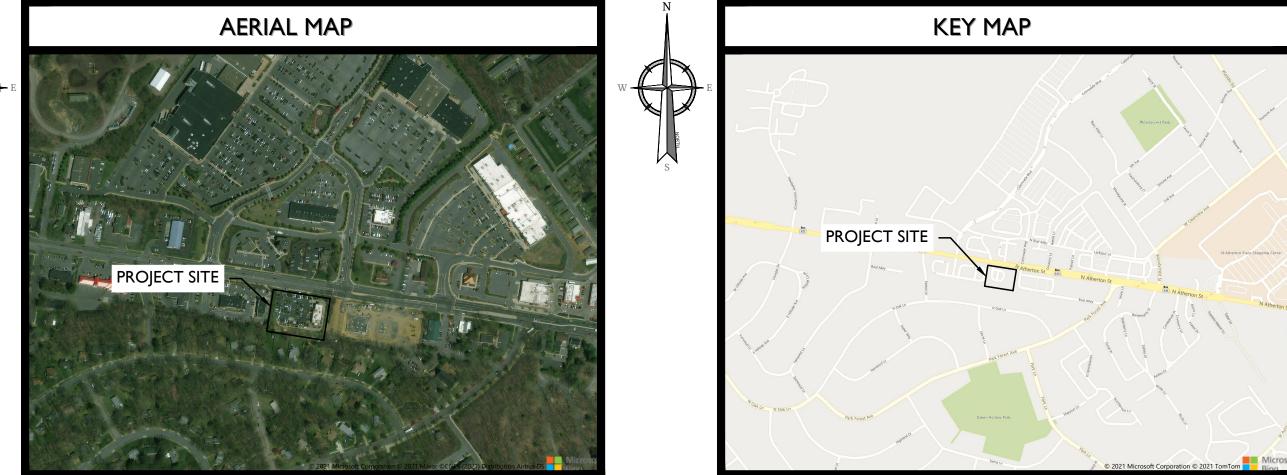
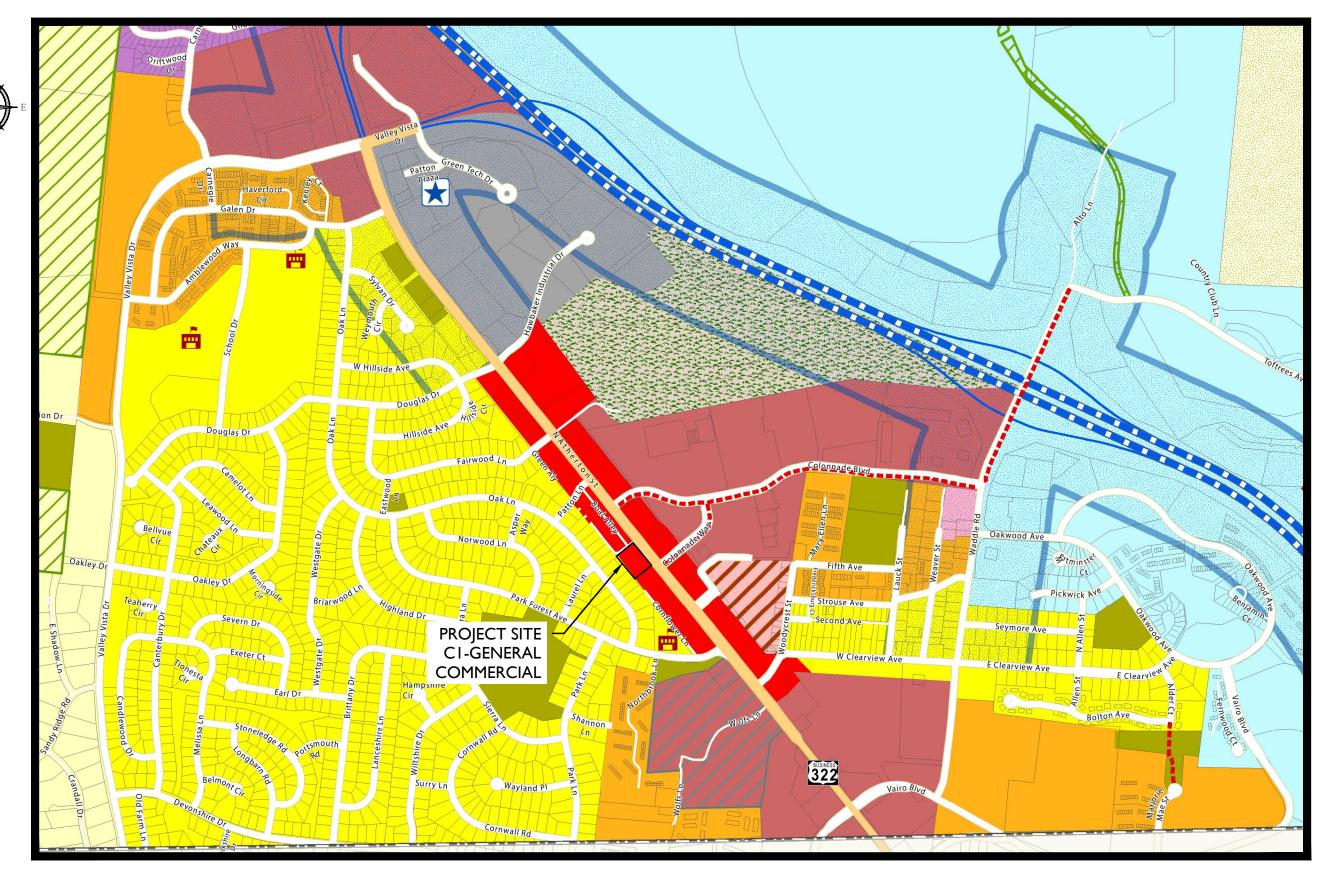
# TAX PARCEL 18-010-282 PATTON TOWNSHIP CENTRE COUNTY, PENNSYLVANIA



SCALE: I "=500' (APPROXIMATE)



## **INDEX OF SHEETS**

C 0	TITLE SHEET
CI	SURVEY PLAN I OF I
CIA	DEMOLITION PLAN
C 2	SITE PLAN
C 3	GRADING AND DRAINAGE PLAN
C 4	CONSTRUCTION DETAIL SHEET
C 5	CONSTRUCTION DETAIL SHEET
C 6	CONSTRUCTION DETAIL SHEET
C 7	CONSTRUCTION DETAIL SHEET
C 8	SOIL EROSION PLAN
C 9	SOIL EROSION NOTES AND DETAILS
C 10	SOIL EROSION NOTES AND DETAILS
C	PCSM PLAN
C 12	PCSM NOTES AND DETAILS
LI	LANDSCAPE PLAN
PS I	UTILITY SITE PLAN





SCALE: I"=1,000' (APPROXIMATE)

## **KEY & ZONING MAP**

		GE	ENERAL IN
I. THE SUBJECT PROPERTY IS KNOW			
MAP OF THE TOWNSHIP OF PATT 2. THE PROPERTY IS LOCATED IN TH			
CONTAINS A TOTAL TRACT ARE			
OWNER: PARK FOREST VILLA 1938 N. ATHERTON	STREET		
STATE COLLEGE, PA APPLICANT: CHICK-FIL-A	16803		
5200 BUFFINGTON F ATLANTA, GA 30349			
404-765-8000			
3. THE SUBJECT PROPERTY IS PRESEN RESTAURANT. THE APPLICANT PR	OPOSES TO ADD I	BUILDING ADDIT	ION, IMPLEMENT
DUAL DRIVE-THRU LANES, ORDEF MANAGEMENT IMPROVEMENT.	AND MEAL DELIV	ERT CANOPIES, A	
ZONE DATA: CI - GENERAL COMM	ERCIAL		
	REQUIRED	EXISTING	PROPOSED
	N/A	1.52 AC	1.52 AC
	150 FT	299.7 FT	299.7 FT
PRINCIPAL BUILDING	50 FT	50.0 FT	50.0 FT
MINIMUM REAR YARD	50 FT	53.6 FT	54.5 FT
MINIMUM SIDE YARD MAXIMUM BUILDING HEIGHT	15 FT 50 FT	36.8 FT < 50 FT	36.8 FT < 50 FT
ACCESSORY BUILDING			
MINIMUM FRONT YARD	50 FT	N/A	67.8 FT
MINIMUM REAR YARD MINIMUM SIDE YARD	50 FT 15 FT	N/A N/A	22.4 FT (V) 8.9 FT (V)
MAXIMUM BUILDING HEIGHT	50 FT	N/A	< 50 FT
MAXIMUM BUILDING COVERAGE	30 %	7.0 %	7.3 %
MAXIMUM IMPERVIOUS COVERAGE	75 %	56.2 %	68.9%
PARKING			
USE: I SPACE/ <b>50</b> SF	28 SPACE / 1,400 SF	56 SPACE	45 SPACE
LOADING: I SPACE/ <b>5,000</b> SF	I SPACE / 4,812 SF	I	I
ADA: TOTAL		3 59	3 48
		~~~~	
EXISTING BUILDING FOOTPRINT	AREA (SF) 4,594 SF	% OF 0 7.0	
EXISTING PAVEMENT	23,419 SF 9,056 SF	35.	
EXISTING SIDEWALK/CONCRETE	37,069 SF	56.	
SURFACE			
PROPOSED BUILDING FOOTPRINT PROPOSED PAVEMENT	4,812 SF 23,072 SF	7.3	0 %
PROPOSED SIDEWALK/CONCRETE	15,994 SF	24.	2 %
TOTAL PROPOSED IMPERVIOUS SURFACE	43,878 SF	66.	5 %
(E) = PRE-EXISTING NON-C (V) = VARIANCE REQUIRED		NDITION	
<ol> <li>THE FOLLOWING VARIANCES AN FOLLOWING ORDINANCE SECTIO BOARD:</li> </ol>			
VARIANCE			
175-16.D.(1).(c) REAR YARD SE	TBACK OF 15 FT FC	OR ACCESSORY	
175-44.A A PLANTED V	NR YARD SCREENIN ISUAL BARRIER OR Y ZONED DISTRIC	LANDSCAPE SCR	REEN ABUTTING
5. BOUNDARY SURVEY INFORMATIC			OM A PLAN ENTITLE
"ALTA/NSPS LAND TITLE SURVEY" ROBERT W. TELSCHOW, JR., P.L.S.	, , ,	,	,
& DESIGN.			
6. THE TOPOGRAPHIC INFORMATIC "ALTA/NSPS LAND TITLE SURVEY"			
TELSCHOW, JR., P.L.S. LIC. NO. SU			
7. THE HORIZONTAL DATUM IS REL			
COORDINATE SYSTEM AND ADJU TO NAVD 1988.	ISTED TO NAD1983	3. THE VERTICAL	DATUM IS RELATIVE
8. GEOTECHNICAL INFORMATION A	and soil test pit	LOCATIONS SHO	OWN HEREON ARE
AS PRESENTED IN A REPORT ENTI SITE IMPROVEMENTS", DATED: AP			
DESIGN.			
9. THIS SET OF PLANS IS NOT DEPIC CERTIFICATION/WARRANTY REG			
ENVIRONMENTALLY IMPACTED SI PERFORMED NO EXPLORATORY (	TE CONDITIONS.	MASER CONSULT	ING HAS
CONCLUSIONS OR OTHER SITE E DETERMINATION OF THE POTEN	NVIRONMENTAL S	ERVICES RELATED	D TO THE
TYPE OF CONTAMINANTS AFFEC PROFESSIONAL IS NOT QUALIFIEE	TO DETERMINE T	HE EXISTENCE O	F SAME. SHOULD
ENVIRONMENTAL CONTAMINAT			
and regulations.			
10. THIS IS A SITE DEVELOPMENT PLA HEREON, IS NOT A SURVEY.	n and unless spi	ECIFICALLY NOT	ED ELSEWHERE
11. DO NOT SCALE DRAWINGS AS TI	HEY PERTAIN TO A	DJACENT AND S	URROUNDING
PHYSICAL CONDITIONS, BUILDIN EXCEPT WHERE DIMENSIONS ARE	, ,		CHEMATIC ONLY,
12. THIS SET OF PLANS HAS BEEN PRE			-
AGENCY REVIEW AND APPROVAI CONSTRUCTION DOCUMENTS U OBTAINED, ALL CONDITIONS OF	NTIL ALL APPROVA	ALS REQUIRED H	AVE BEEN
HAVE BEEN STAMPED "ISSUED FOI OF ALL CATALOG CUTS, SHOP DI	r construction	I". THIS SHALL IN	CLUDE APPROVAL
REQUIRED BY THE PROJECT OWN	IER AND/OR MUNI	CIPAL ENGINEER	
13. THE CONTRACTOR IS RESPONSIB ALL APPROPRIATE SAFETY DEVICE			NG PROVISION OF
14. PRIOR TO ANY EXCAVATION, TH UTILITY MARKOUT.	e contractor s	HALL CALL 811 1	o request a
SITE NOTES			
I. BUILDING FOOTPRINT DIMENSIO	NS SHOWN HEREC	ON ARE APPROXI	MATE. FINAL
BUILDING FOOTPRINT DIMENSIO ARCHITECTURAL PLANS AT THE	NS FOR EACH BUIL	DING SHALL BE I	FURNISHED ON THE DING PERMIT. ALL
STRUCTURES SHALL CONFORM T			-
<ol> <li>CURB RAMPS ARE TO BE CONSTR SURFACE. ACCESSIBLE CURB RAM TO HAVE DETECTABLE WARNING</li> </ol>	PS INSTALLED WIT	HIN THE PUBLIC	RIGHT OF WAY ARE
GUIDELINES FOR PEDESTRIAN FAC			
3. TRAFFIC SIGNAGE AND STRIPING TRAFFIC CONTROL DEVICES.			
4. REFUSE AND RECYCLABLES SHALL	. BE STORED WITH	IIN WITHIN OUT	SIDE SCREENED

## GENERAL INFORMATION

TRASH ENCLOSURES AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER.

- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
- 6. THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS
- 7. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:

A. PENNSYLVANIA DEPARTMENT OF TRANSPORTATION "SPECIFICATIONS PUBLICATION 408", 2016; AS SUPPLEMENTED. B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS. C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS. D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS

#### UTILITY NOTES

- I. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE
- 2. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- 3. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPÉRSEAL OR EQUIVALENT, ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPEP), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- 4. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- 5. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE IN REAR OF THE PROPERTY, OWNED AND OPERATED BY THE PATTON TOWNSHIP WATER DEPARTMENT. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, AMERICAN WATERWORKS ASSOCIATION STANDARDS. PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING OR HIGH DENSITY POLYETHYLENE (HDPE) SDR-11 PIPE AS NOTED ON THE PLANS. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
- 6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY (FORCE MAIN) CONNECTION TO EXISTING SEWER MAIN ON N. ATHERTON STREET, OWNED AN OPERATED BY THE PATTON TOWNSHIP SEWER DEPARTMENT. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- 7. ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE. THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- 8. AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REOUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS), WITH WATERTIGHT JOINTS THAT IS A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWER SEAL MODEL #3501 OR EQUIVALENT AT DIP/PVC JOINTS.
- LED 9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.
  - 10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

#### WETLAND NOTES:

WORK.

I. THERE ARE NO WETLANDS WITHIN THE PROPOSED DEVELOPMENT AREA. FLOOD HAZARD NOTES:

BY GRAPHICAL PRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON FLOOD INSURANCE MAPS, COMMUNITY PANEL NO. 420266-0617-F WHICH HAS AN EFFECTIVE DATE OF MAY 4, 2009 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE.

ADA INSTRUCTIONS TO CONTRACTOR:

- I. CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- ( NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW. WHETHER OR NOT STATED SPECIFICALLY HEREIN):
- A. PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- B. CURB RAMPS- SLOPES SHALL NOT EXCEED 1:12 (8.3%).

C. LANDINGS -SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

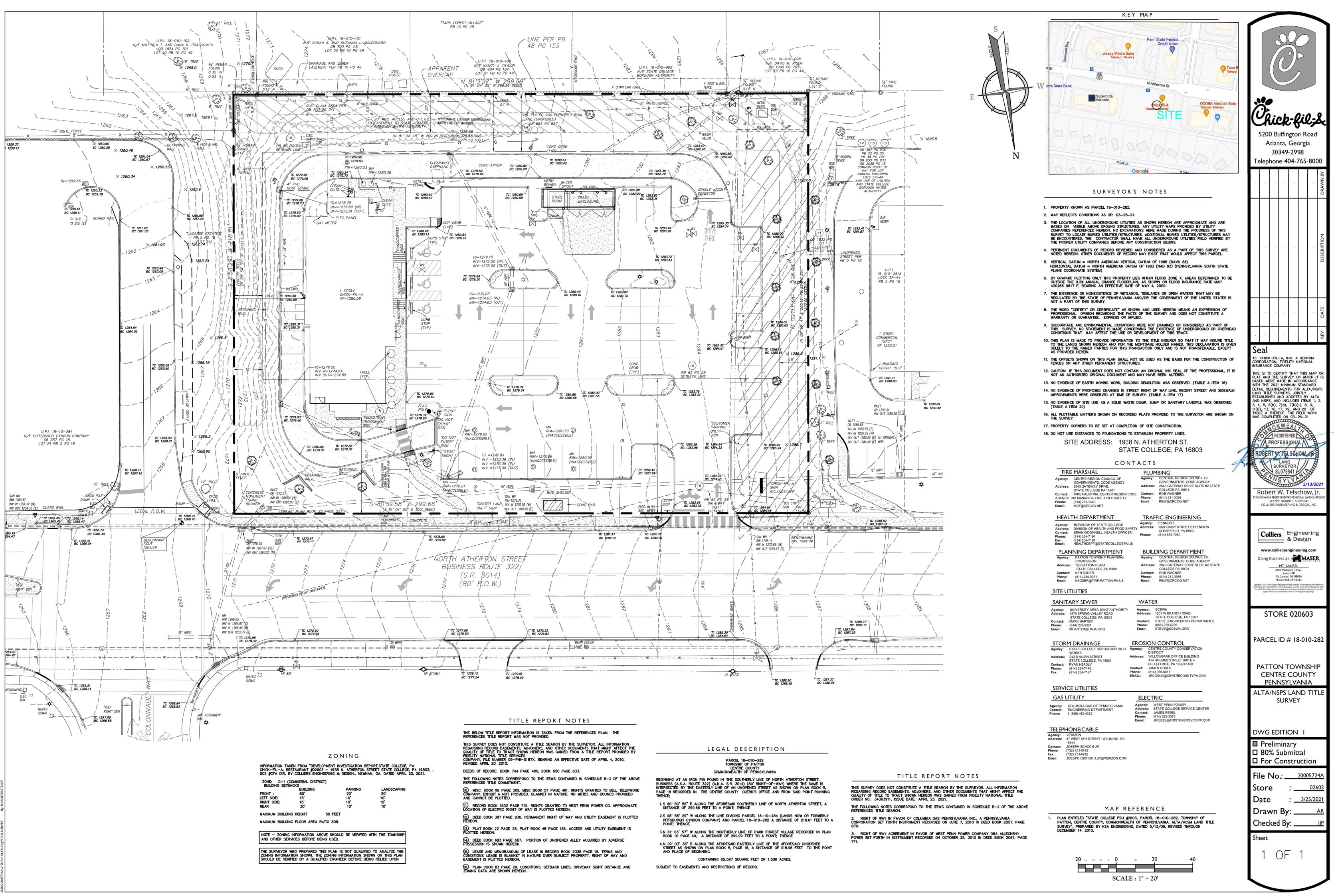
D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH), THE SLOPE SHALL BE NO GREATER THAN I :20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.

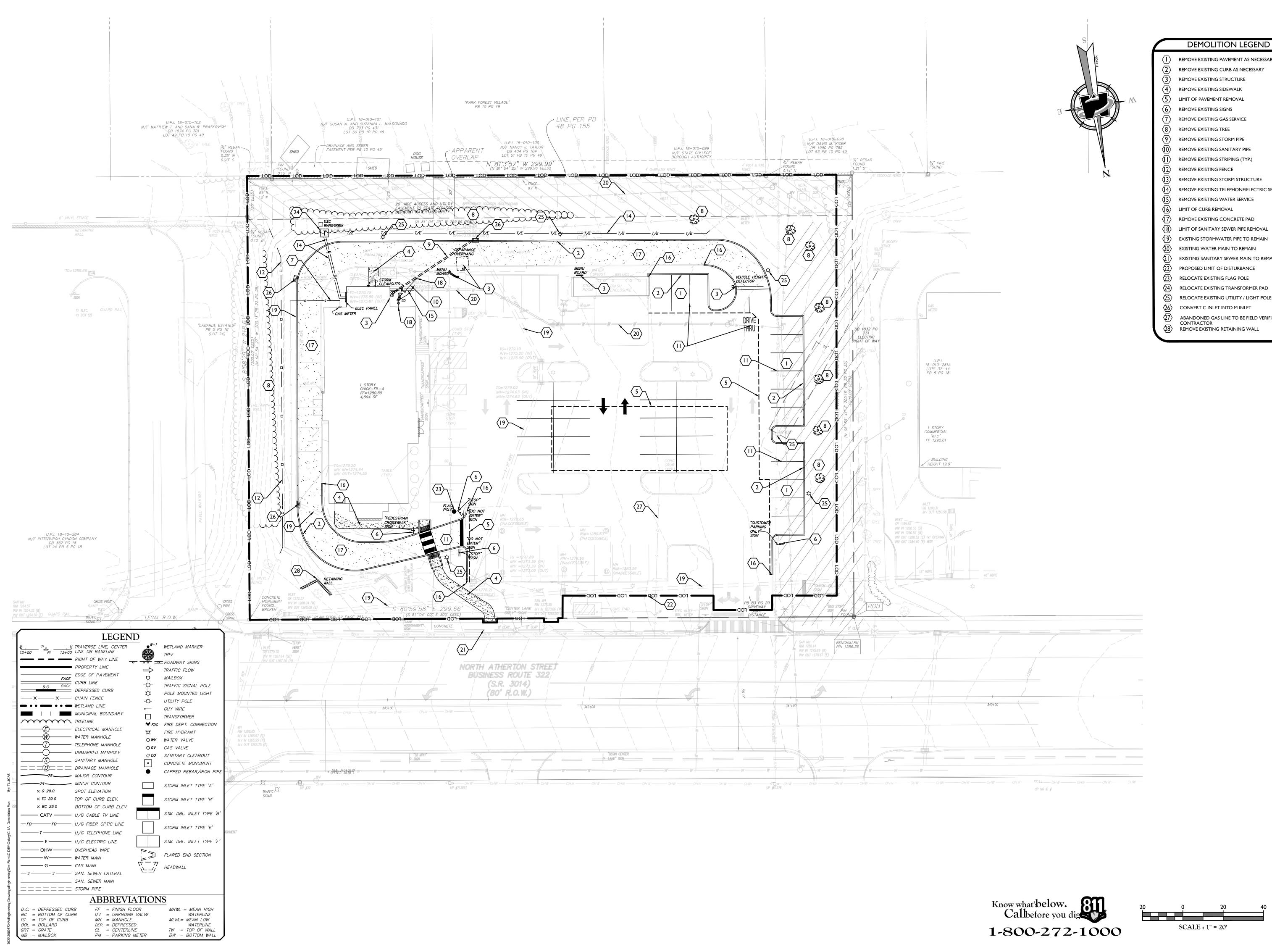
E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.

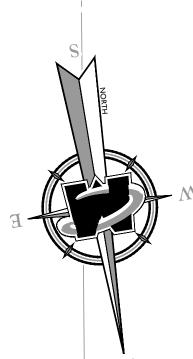
F. DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).

2. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING

ľ							
	520 A	0 Bu Itlar 30	uffin nta, 349	gto Geo -299	n Ro orgia 98	oad a	20
						μL	DRAWN BY
						revised per utility coordination.	DESCRIPTION
						1/7/2022	DATE
						-	REV
	<section-header><section-header><text><text><text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text></text></text></section-header></section-header>						
Ρ	AR AT CE	CEL TO NT	- #: N T RE (	18- - - CO	010 VN: UN	-28 SHI TY	2
	PENNSYLVANIA PRELIMINARY & FINAL MAJOR SITE PLAN TITLE SHEET DWG EDITION 2.0 □ Preliminary						
■ Fi St D C	80 Foi le l or ate rav	% S r C No e vn	By	mit stru	ucti 2000 1	)572 26 1/12	503 /21 _JT

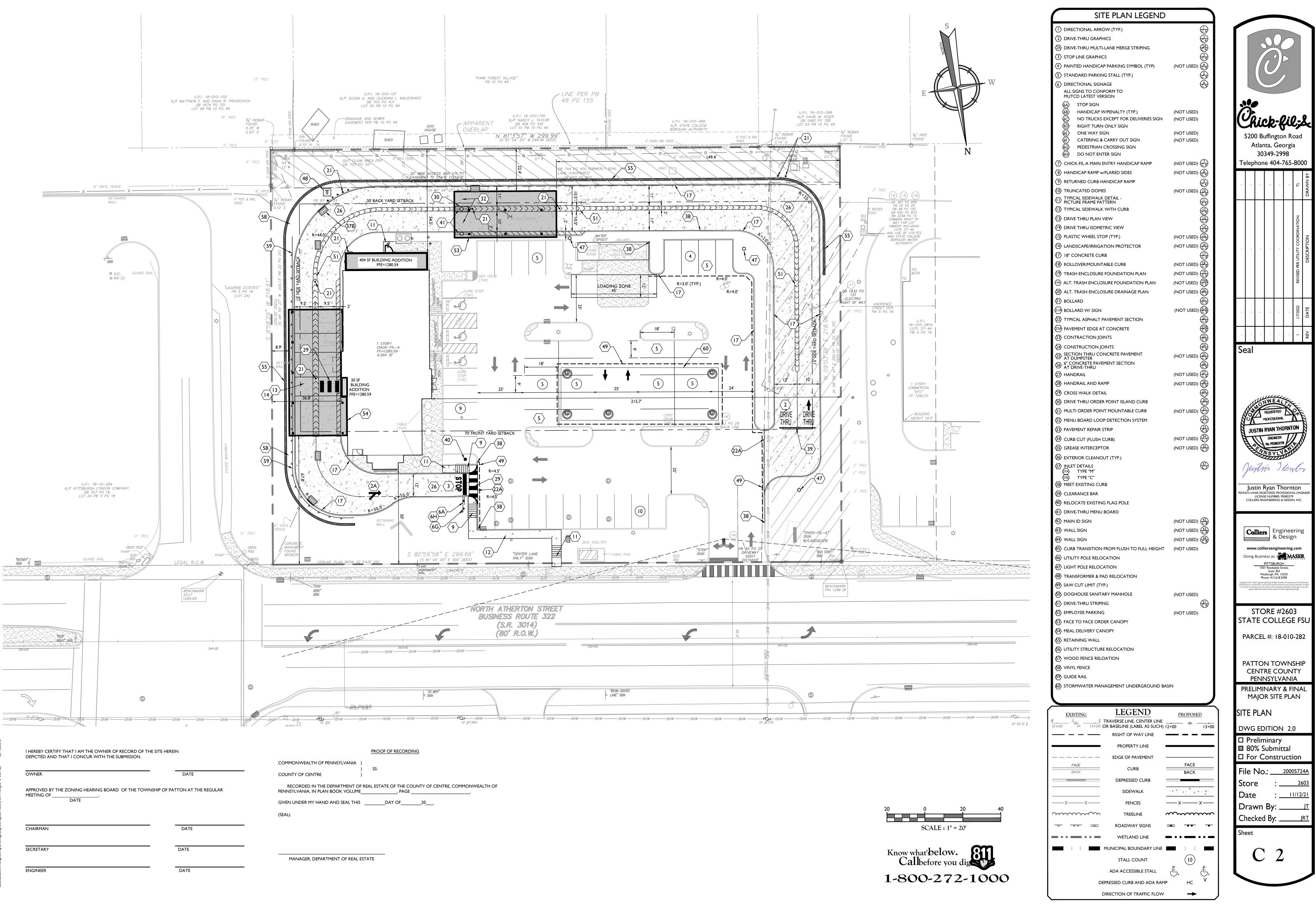


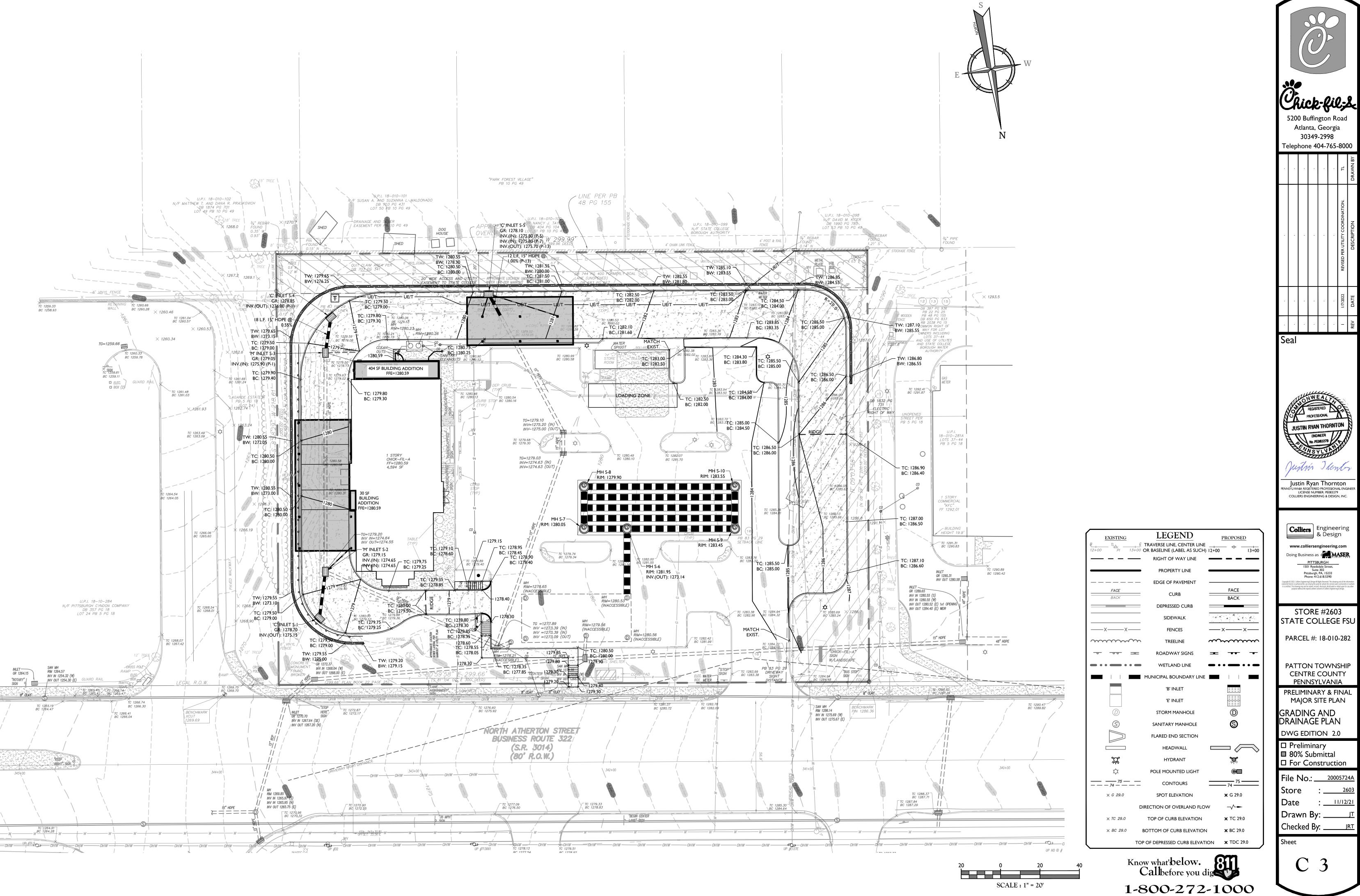


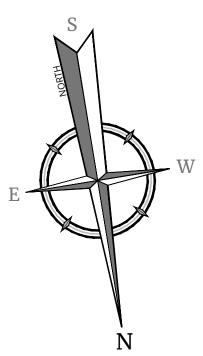


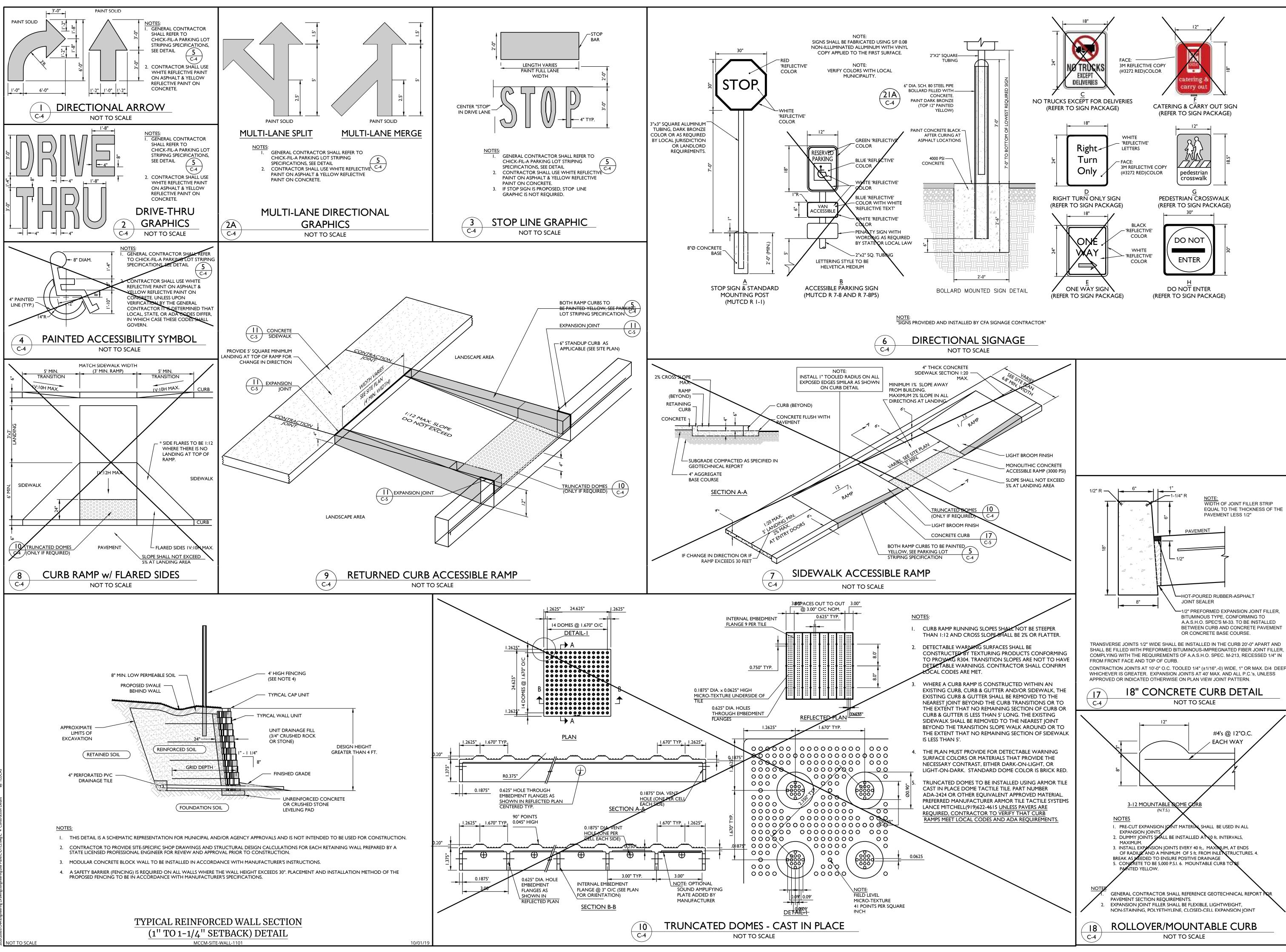
	DEMOLITION LEGEND
$\langle I \rangle$	REMOVE EXISTING PAVEMENT AS NECESSARY
$\langle 2 \rangle$	REMOVE EXISTING CURB AS NECESSARY
$\langle 3 \rangle$	REMOVE EXISTING STRUCTURE
$\langle 4 \rangle$	REMOVE EXISTING SIDEWALK
$\langle 5 \rangle$	LIMIT OF PAVEMENT REMOVAL
6	REMOVE EXISTING SIGNS
$\langle 7 \rangle$	REMOVE EXISTING GAS SERVICE
<u>(8</u> )	REMOVE EXISTING TREE
(9)	REMOVE EXISTING STORM PIPE
$\langle 0 \rangle$	REMOVE EXISTING SANITARY PIPE
$\langle    \rangle$	REMOVE EXISTING STRIPING (TYP.)
<u>(12)</u>	REMOVE EXISTING FENCE
<b>(</b> ] <b>)</b>	REMOVE EXISTING STORM STRUCTURE
$\langle   4 \rangle$	REMOVE EXISTING TELEPHONE/ELECTRIC SERVICE
(15)	REMOVE EXISTING WATER SERVICE
(16)	LIMIT OF CURB REMOVAL
(17)	REMOVE EXISTING CONCRETE PAD
<u> </u>	LIMIT OF SANITARY SEWER PIPE REMOVAL
(19)	EXISTING STORMWATER PIPE TO REMAIN
20>	EXISTING WATER MAIN TO REMAIN
21>	EXISTING SANITARY SEWER MAIN TO REMAIN
22>	PROPOSED LIMIT OF DISTURBANCE
23>	RELOCATE EXISTING FLAG POLE
24>	RELOCATE EXISTING TRANSFORMER PAD
<b>2</b> 5	RELOCATE EXISTING UTILITY / LIGHT POLE
26>	CONVERT C INLET INTO M INLET
<b>2</b> 7>	ABANDONED GAS LINE TO BE FIELD VERIFIED BY CONTRACTOR
28>	REMOVE EXISTING RETAINING WALL

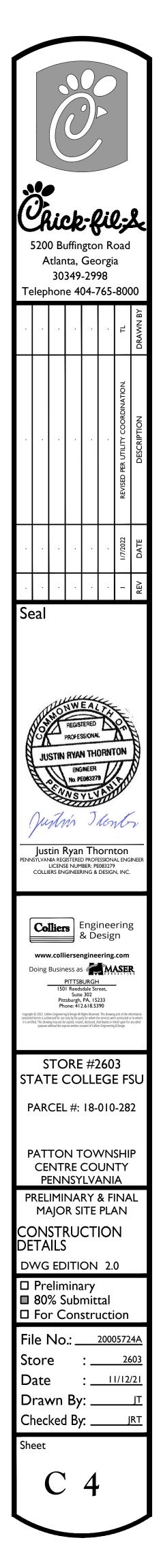
	520 A	0 Bu Itlar 30	uffin Ita, 349	gto Geo -299	<b>Pid</b> n Re prgia 765-	oad a	<b>8</b> 00
		-				TL	DRAWN BY
						REVISED PER UTILITY COORDINATION.	DESCRIPTION
						1/7/2022	DATE
Se						_	REV
<image/> <text><text><text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text></text></text>							
Р	AT CE PI REL		N T RE ( NSY		010 VN: UN ANI & FI PL <i>F</i>	shi ty A	P
					PL		
Fil St D	Pre 80 Foi le I ore ate rav	elin % S r C No e wn	bina Subi Son: D:: By	mit stru		0 0 0572 26	4 <u>A</u> 603 /21 JT

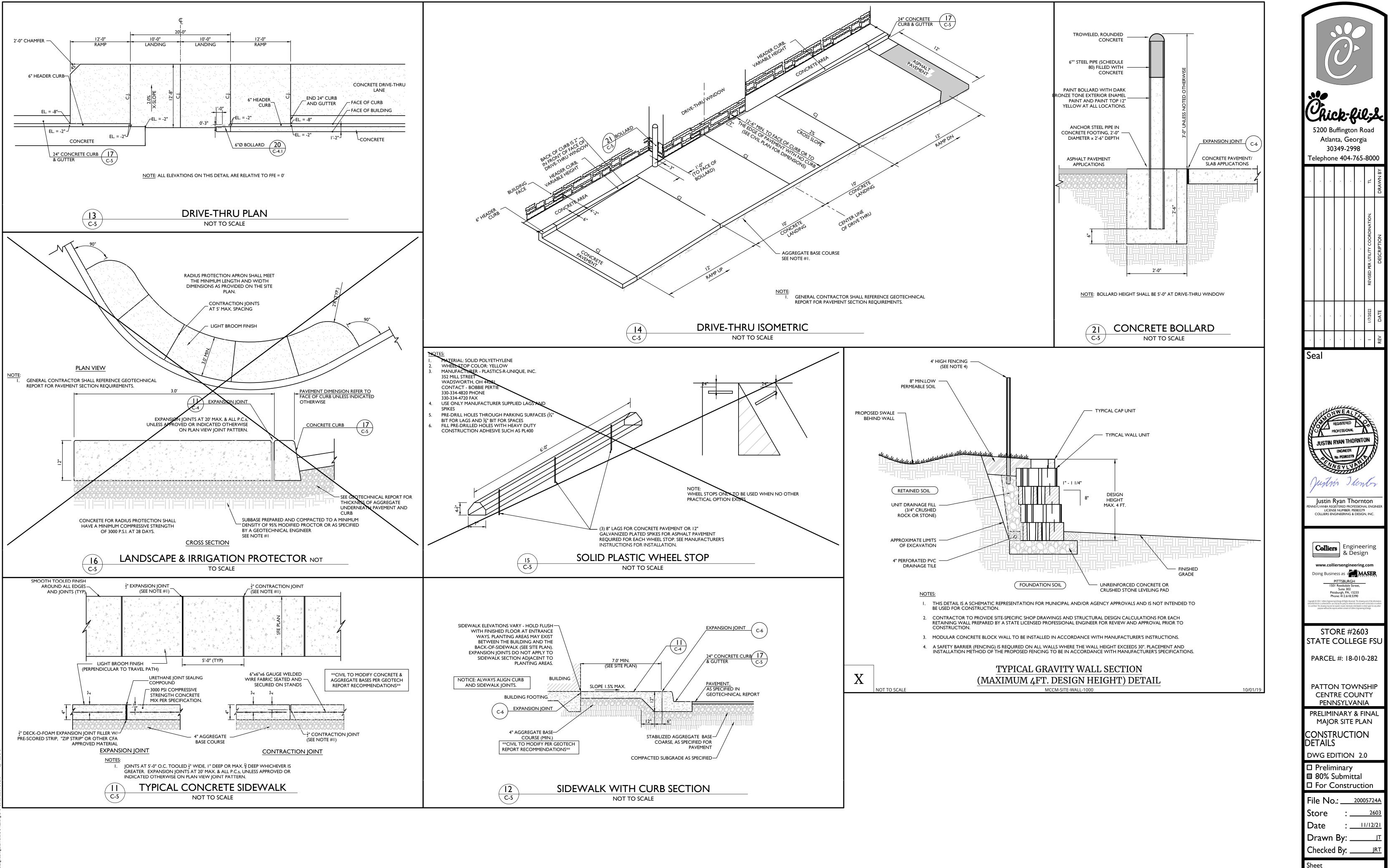




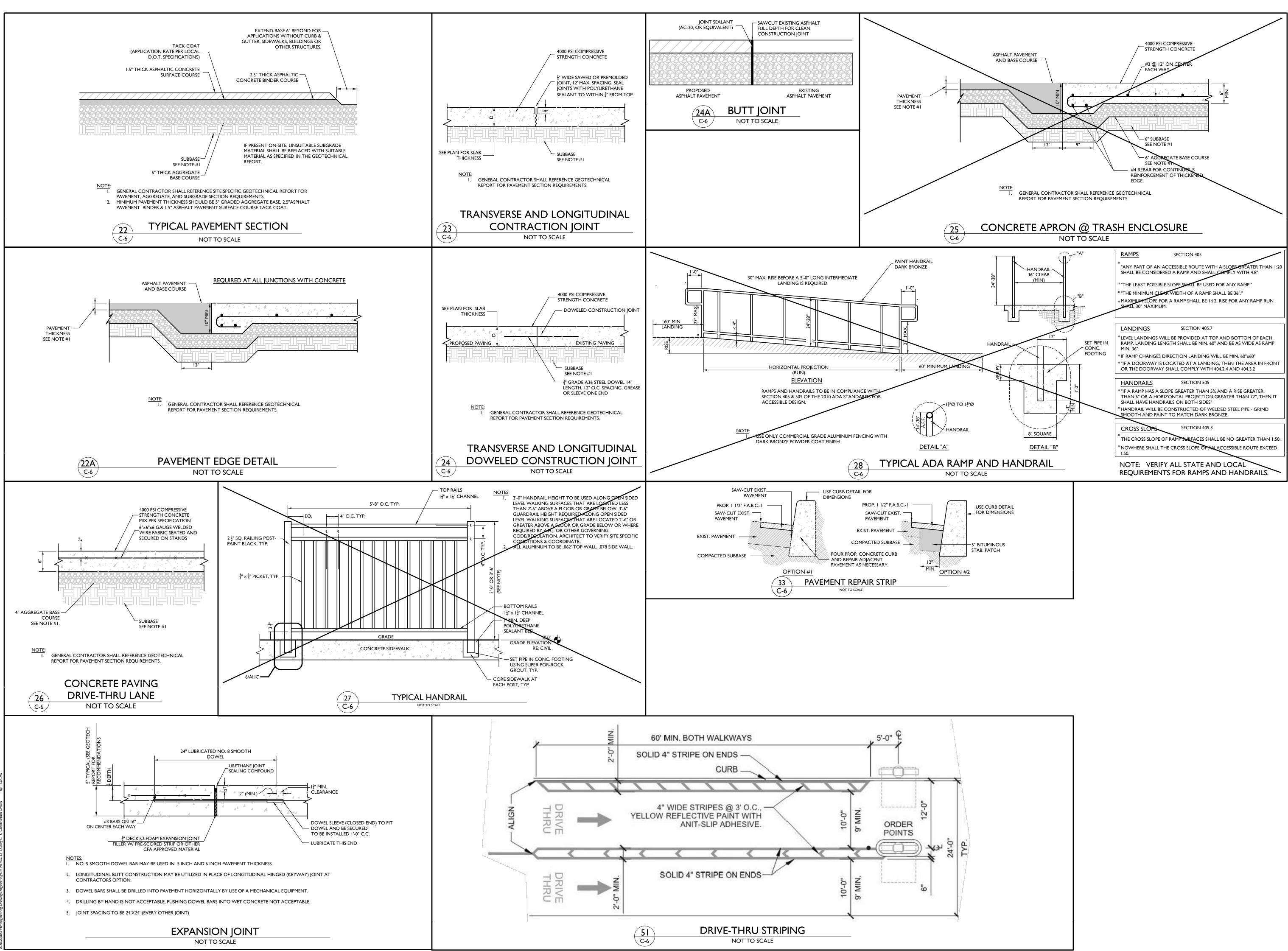






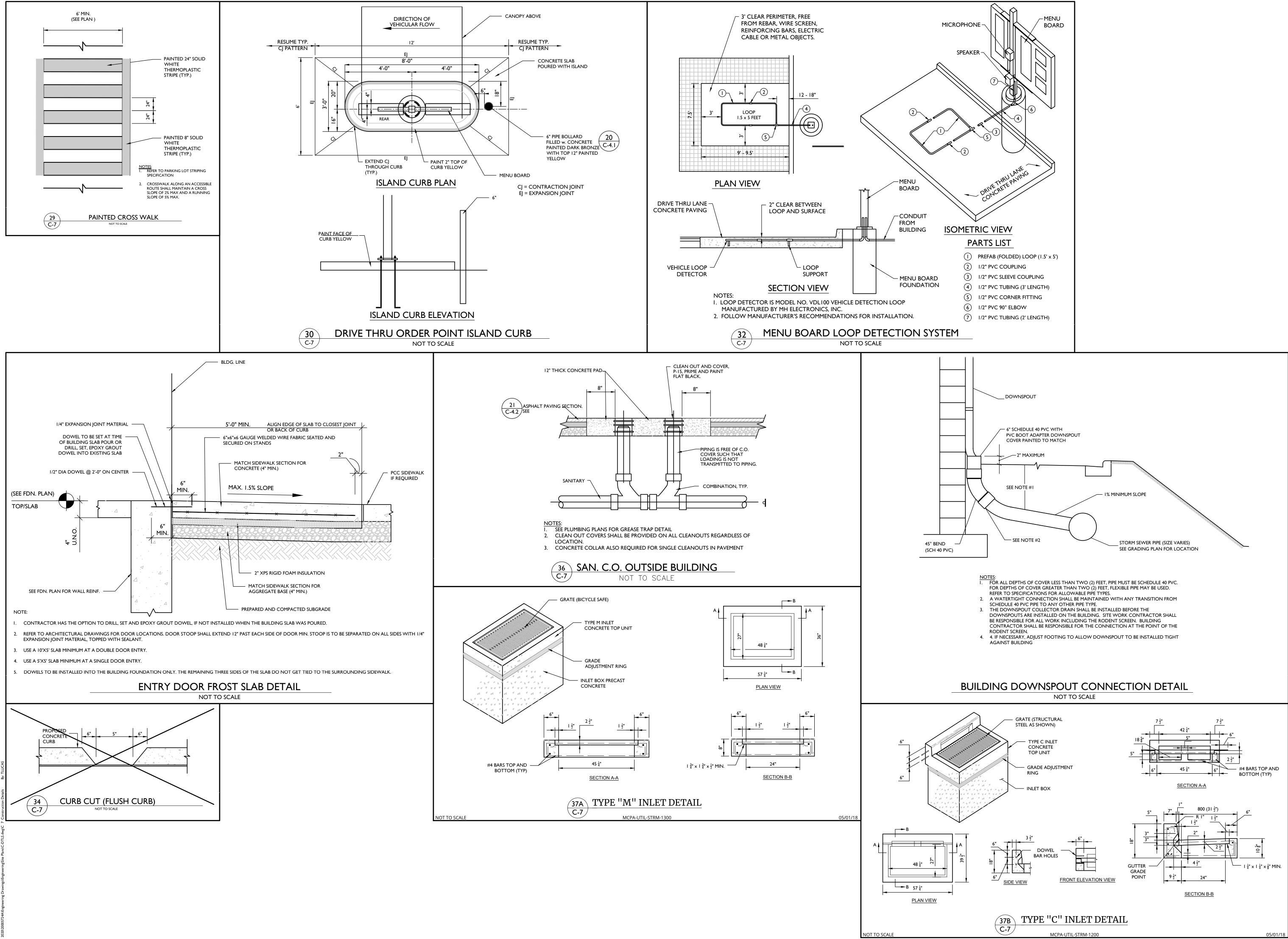


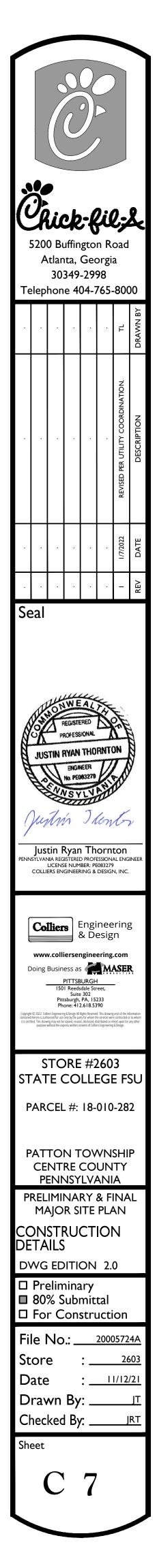
A\Engineering Drawings\Engineering\Site Plans\C-DTLS.dwg\C 5 Construction Details B

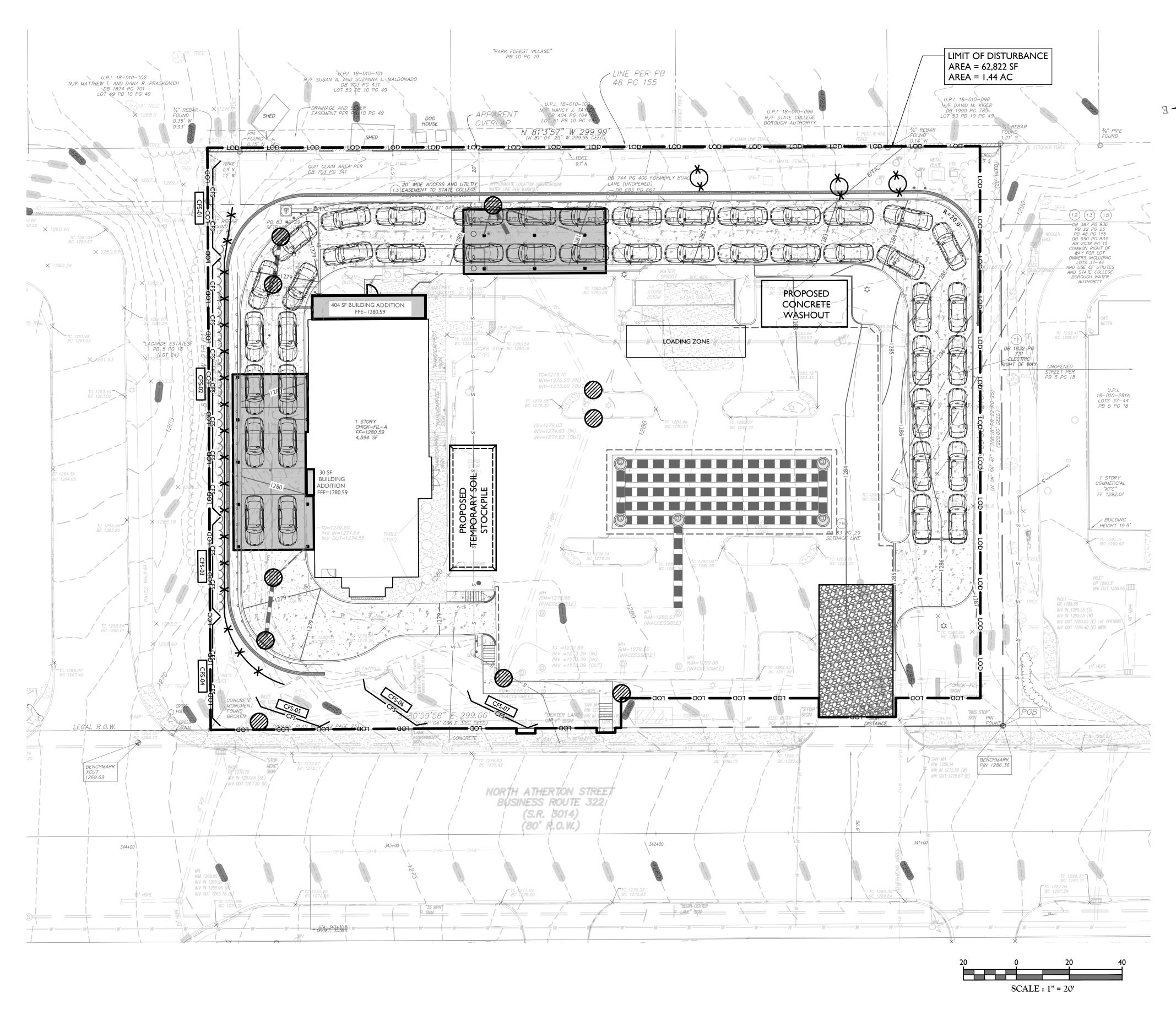


DRIVE-THRU STRIPIN
NOT TO SCALE

5200 Buffington Road   Atlanta, Georgia   30349-2998   Telephone 404-765-8000     Image: State								
5200 Buffington Road   Atlanta, Georgia   30349-2998   Telephone 404-765-8000     Image: State	2	~						
Atlanta, Georgia 30349-2998 Telephone 404-765-8000	Ľ					·		Ł
Image: Second State Sta		А	tlar 30	nta, 349	Geo -299	orgi 98	a	0
Image: Seal		leb						
Image: Seal         Seal         Image: Seal <t< td=""><td>·</td><td></td><td></td><td></td><td></td><td></td><td>Ц</td><td>DRAW</td></t<>	·						Ц	DRAW
Seal Seal Seal Seal Seal Seal Seal Seal							REVISED PER UTILITY COORDINATION.	DESCRIPTION
Seal Seal Seal Seal Seal Seal Seal Seal							1/7/2022	DATE
EUSISTERED     PROFESSIONAL     INSTANT ATHORNTON     ENGAGEER     No REQUIRES     SYLVIAMA     EUSISTERED     PROFESSIONAL     INSTANT ATHORNTON     ENGAGEER     No REQUIRES     SYLVIAMA     MAAAAAAAAAAAAAAAAAAAAAAAAAAAAAA							-	REV
PENNSYLVANIA PRELIMINARY & FINAL MAJOR SITE PLAN CONSTRUCTION DETAILS DWG EDITION 2.0 Preliminary 80% Submittal For Construction File No.: 20005724A Store : 2603 Date : 11/12/21 Drawn By:T Checked By:RT	<image/> <text><text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text></text>							
Sheet C 6	PENNSYLVANIA PRELIMINARY & FINAL MAJOR SITE PLAN CONSTRUCTION DETAILS DWG EDITION 2.0 Preliminary 80% Submittal For Construction File No.: 20005724A Store : 2603 Date : 11/12/21 Drawn By:T							
	Sh	eet	C		6			







#### NOTES:

- 1. THE RECEIVING STREAM IS BIG HOLLOW WITHIN BALD EAGLE CREEK WATERSHED. USE DESIGNATION IS CWF, MF (COLD WATER FISHES, OF THE PROJECT SITE.
- 2. PROPOSED LIMIT OF DISTURBANCE IS 62,822 SF (1.44 AC.) 3. THERE ARE NO STREAMS, WETLANDS, FLOODWAYS, OR WATERCOURSES
- WITHIN THE PROPOSED DEVELOPMENT AREA.
- UNDERGROUND BASIN SEQUENCE OF INSTALLATION
- 1. CLEAN AND INSPECT EXISTING BASIN AND PROVIDE A REPORT TO ENGINEER OF RECORD
- 2. REMOVE EXISTING ASPHALT AND STONE BASE. 3. EXCAVATE TO DESIGN STONE BASE ELEVATION. SCARIFY COMPACTED SOIL
- AND PLACE 6" STONE BASE.
- SITE INSPECTION OF THE SUBGRADE PREPARATION.) 4. INSTALL ADS N-12 UNDERGROUND BASIN SYSTEM.
- ELEVATION FOR THE PARKING LOT.

## UNDERGROUND BASIN MAINTENANCE PROGRAM

1. MAINTAINED BY: PROPERTY OWNER 2. UNDERGROUND BASIN WILL BE INSPECTED FOR ANY DEBRIS AND

RECYCLING & DISPOSAL OF MATERIALS:

- ANY POST-CONSTRUCTION WASTE MATERIALS COLLECTED BY THE UNDERGROUND BASIN AND/OR THE STORMWATER COLLECTION/CONVEYANCE SYSTEM SHALL BE DISPOSED OF PROPERLY.
- POST-CONSTRUCTION WASTES FOR THIS PROJECT INCLUDE CUSTOMER 2. TRASH/DEBRIS, VEHICULAR LIQUIDS, SEDIMENT, LEAVES, AND GRASS CLIPPINGS.

## SEQUENCE OF DEVELOPMENT

PHASE I INSTALL INLET FILTERS ON EXISTING INLETS TO REMAIN. INSTALL TEMPORARY CONSTRUCTION FENCING 3. INSTALL ROCK CONSTRUCTION ENTRANCE

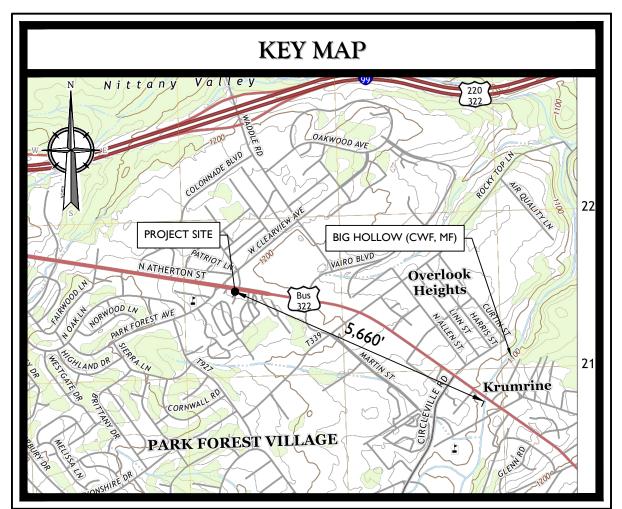
- PHASE II SAWCUT EXISTING PAVEMENT.

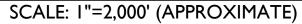
## PHASE III

- ROUGH GRADE SITE CONSTRUCT DRAINAGE FACILITIES. INSTALL INLET FILTERS TO PROPOSED INLETS.
- CONSTRUCT BUILDING FOUNDATIONS
- CONSTRUCT CURBING, PAVEMENT BASE 7. INSTALL UNDERGROUND DETENTION BASIN

## PHASE IV

- 1. COMPLETE CONSTRUCTION OF ALL STRUCTURES 2. DISTRIBUTE STOCK PILE SOIL 3. REMOVE EXCESS SOIL AND DEBRIS FROM SITE PHASE V
- 1. BRING SITE TO FINISHED GRADE 2. COMPLETE LANDSCAPING
  - REMOVE E & S MEASURES





MIGRATORY FISH). THIS STREAM IS LOCATED APPROXIMATELY 5,660 FT EAST

(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A

(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE UNDERGROUND BASIN SYSTEM INSTALLATION.)

5. PLACE 12" STONE COVER AND BACKFILL WITH SOIL TO DESIGN SUBGRADE 6. COMPLETE WITH SUBBASE AND PAVEMENT FOR THE PARKING LOT AREA.

SETTLEMENT TWICE A YEAR. PERFORM ANY NECESSARY MAINTENANCE. ALL TRASH/DEBRIS/SETTLEMENT SHALL BE DISPOSED OF PROPERLY.

WASTE MATERIALS SHALL NOT BE DISTRIBUTED ON SITE. THERE SHALL BE NO DUMPING OF WASTE MATERIALS INTO THE STORM INLETS. ANTICIPATED

2. REMOVE EXISTING PAVEMENT/CONCRETE AS NECESSARY
 3. REMOVE EXISTING FEATURES

INSTALL UTILITY SERVICE CONNECTIONS TO BUILDING LOCATION

SOIL EROSION LEGEND					
PROPOSED INLET FILTER	$\bigotimes$				
PROPOSED AREA OF TEMPORARY TOPSOIL STOCK PILE					
PROPOSED COMPOST FILTER SOCK	CFS CFS				
PROPOSED LIMIT OF DISTURBANCE					
PROPOSED CONSTRUCTION #1 ENTRANCE, 1 1/2"-2" Ø STONE (50' LONG × 25' WIDE × 12")					
TREE PROTECTION FENCE					

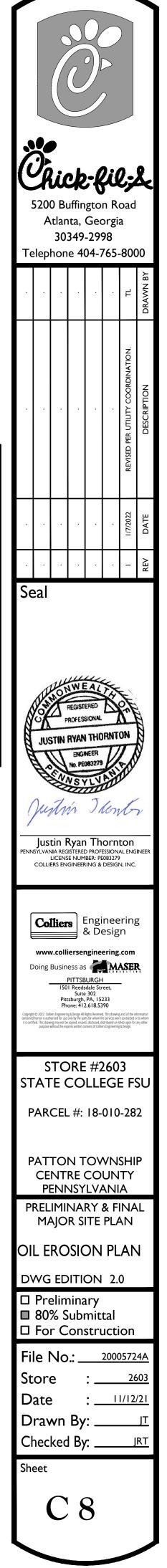
#### SOIL USE LIMITATIONS AND RESOLUTIONS:

BASED ON THE WEB SOIL REPORT OF CENTRE COUNTY, THE EXISTING SOIL CLASSIFICATION WITHIN THE PROJECT AREA IS MrB (MORRISON SANDY LOAM, 2 TO 8 PERCENT SLOPES). MrB IS NOT HYDRIC SOIL. THE SOIL USE LIMITATIONS FOR MORRISON ARE LISTED BELOW. WHEN ISSUES OCCUR DURING CONSTRUCTION, USE BELOW RESOLUTIONS OR CONSULTANT WITH THE ENGINEERS.

- SOIL USE LIMITATIONS: 1. CUTBANKS CAVE
- 2. CORROSIVE TO CONCRETE
- 3. EASILY ERODIBLE 4. LOW STRENGTH/LANDSLIDE PRONE
- 5. SLOW PERCOLATION
- 6. FROST ACTION 7. POTENTIAL SINKHOLE

- RESOLUTION: 1. CUTBANKS CAVE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA
- STANDARDS. 2. CORROSIVE TO CONCRETE/STEEL: CORROSIVE RESISTANT MATERIALS WILL BE USED OR CORROSIVE RESISTANT PRODUCTS WILL BE APPLIED TO THE SURFACE OF
- STEEL/CONCRETE FEATURES THAT CONTACT THE SOIL. 3. DROUGHTY: COMPOST WILL BE ADDED TO IMPROVE EXISTING SOIL CONDITIONS IF NECESSARY. (NOT ANTICIPATED)
- 4. EASILY ERODIBLE: DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH
- TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS. 5. DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE: FILTER BAGS WILL BE USED IF WATER IS ENCOUNTERED DURING CONSTRUCTION.
- 6. HYDRIC/HYDRIC INCLUSIONS: HYDRIC SOILS ARE NOT EXPECTED ON THIS SITE. 7. LOW STRENGTH/LANDSLIDE PRONE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS, AND DISTURBED AREAS WILL BE STABILIZED WITH TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS.
- 8. SLOW PERCOLATION: NO INFILTRATION IS PROPOSED. 9. PIPING: ALL PIPE EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA
- STANDARDS. 10. POOR SOURCE OF TOPSOIL: ADD COMPOST TO IMPROVE SOIL CONDITION. USE SOILS FROM TOPSOIL STOCKPILES. IF NECESSARY, IMPORT TOPSOIL.
- 11. FROST ACTION: ALL PIPING WILL BE INSTALLED BELOW FROST LINE. 12. POTENTIAL SINKHOLE: MAINTAIN SEPARATION FROM INFILTRATION OF STORMWATER. MITIGATE POTENTIAL VOIDS DURING CONSTRUCTION.
- 13. WETNESS: NOT APPLICABLE.





## PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION

**E&S PLAN NOTES** MCPA-SOIL-NOTE-1000 05/01/1 ALL EARTH DISTURBANCES. INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALI BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H: IV OR FLATTER. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. . ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. 4. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS 255-B-11 & 255-B-118 ONTO SHARED ACCESS DRIVE. UNTIL THE SITE IS STABILIZED ALL FROSION AND SEDIMENT RMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL FROSION AND SEDIMENT RMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. . ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES — 6 TO 12 INCHES ON COMPACTED SOILS — PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL 0. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS. 22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. 13. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS. 24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES. 5. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD. 26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN. . IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN I YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN I YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS. 28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS. 9. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT 10. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS, AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS. SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON. 2. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION. 3. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION. 4. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.

#### STANDARD FOR VEGETATIVE COVER

1. SITE PREPARATION A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ICHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING

B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING. D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES,

#### SEDIMENT BASINS, AND WATERWAYS, 2. SEEDBED PREPARATION

A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING. D. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) E WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC. SPRING-TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS F. REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION AND OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL G. HIGH ACID PRODUCING SOIL. SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED REPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS

A. TEMPORARY SEEDING SPECIFICATIONS - USE THE MIXTURE LISTED BELOW OR SELECT AN APPROVED MIXTURE FROM THOSE LISTED IN THE PADEP & S MANUAL TABLE 11.4. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED. SEED SHALL BE APPLIED AS NOTED BELOW WITHIN THE DATES SPECIFIED IN THE STANDARDS:

1. LAWN AREAS:

SEEDING

MIX#2 TALL FESCUE 60 LBS/ACRE PLS / 76% PLS = 78.9 LBS/ACRE PERENNIAL RYE GRASS 15 LBS/ACRE / 81% PLS = 18.6 LBS/ACRE15% PURE LIVE SEED

OPTIMUM SEEDING DATES: 8/15 - 11/15 ACCEPTABLE SEEING DATES: 3/1 - 4/30 5/1 - 8/14 (SEE NOTE BELOW)

NOTE: SUMMER SEEDING SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED. MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX WEEKS OF GROWING SEASON REMAIN AFTER SEEDING TO ENDURE ESTABLISHMENT BEFORE FREEZING CONDITIONS

B. <u>PERMANENT SEEDING SPECIFICATIONS</u> - USE THE MIXTURE LISTED BELOW OR SELECT AN APPROVED MIXTURE FROM THOSE LISTED IN THE PADEP E&S MANUAL TABLE 11.4. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED. SEED SHALL BE APPLIED AS NOTED BELOW WITHIN THE DATES SPECIFIED IN THE STANDARDS:

MIX#2 TALL FESCUE 60 LBS/ACRE PLS / 76% PLS = 78 9 LBS/ACRE PERENNIAL RYE GRASS 15 LBS/ACRE / 81% PLS = 18.6 LBS/ACRE15% PURE LIVE SEED

OPTIMUM SEEDING DATES: 8/15 - 11/15 ACCEPTABLE SEEING DATES: 3/1 - 4/30

1. LAWN AREAS

4. <u>LIME</u>

<u>MULCHING</u>

5/1 - 8/14 (SEE NOTE BELOW)

ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

1. SITE PREPARATION

2. PROTECTIVE MATERIALS

NOTE: SUMMER SEEDING SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED. MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX WEEKS OF GROWING SEASON REMAIN AFTER SEEDING TO ENDURE ESTABLISHMENT BEFORE FREEZING CONDI C. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL. D. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING

EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE E HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER-MOUNTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PLIMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

4. FERTILIZER A. TEMPORARY FERTILIZER TO BE APPLIED AT A RATE OF 10-10-10 AT A RATE OF 500 LBS/ACRE B. PERMANENT FERTILIZER TO BE APPLIED AT A RATE OF 10-20-20 AT A RATE OF 1,000 LBS/ACRE OR PER SOIL TEST.

A. TEMPORARY AGRICULTURAL GRADE LIMESTONE TO BE APPLIED AT A RATE OF 1.0 TON/ACRE B. PERMANENT AGRICULTURAL GRADE LIMESTONE TO BE APPLIED AT A RATE OF 6.0 TONS/ACRE OR PER SOIL TEST

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT. A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 3 TONS PER ACRE (130 TO 140 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT). THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULC CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED

APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTIO ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE WINE AROUND FACH PEG WITH TWO OR MORE ROUND TURNS MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED CRIMPER (MULCH ANCHORING COULTER TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES, STRAW MULCH RATE MUST BE 3 TONS PER ACRE, NO TACKIEVING OR ADHESIVE

GENT IS REQUIRED. 4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH. a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANC

b. USE ONE OF THE FOLLOWING: (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE I OGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC FEFECT OR IMPEDE GROWTH OF TURE GRAS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE. (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS

OTHER PRODUCTS B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 2 000 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALI C. PELLETIZED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AND WATERED, FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED- SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF

5 IRRIGATION (WHERE FEASIBLE) IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITE TOPDRESSING: N/A

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE. NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TUR SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

#### STANDARD FOR STABILIZATION WITH MULCH ONLY

A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH CHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

A. UNROTTED SMALL-GRAIN STRAW, AT 3 TONS PER ACRE, IS SPREAD UNIFORMLY AT 130 TO 140 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH. B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 2,000 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.

E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT F. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED

3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.

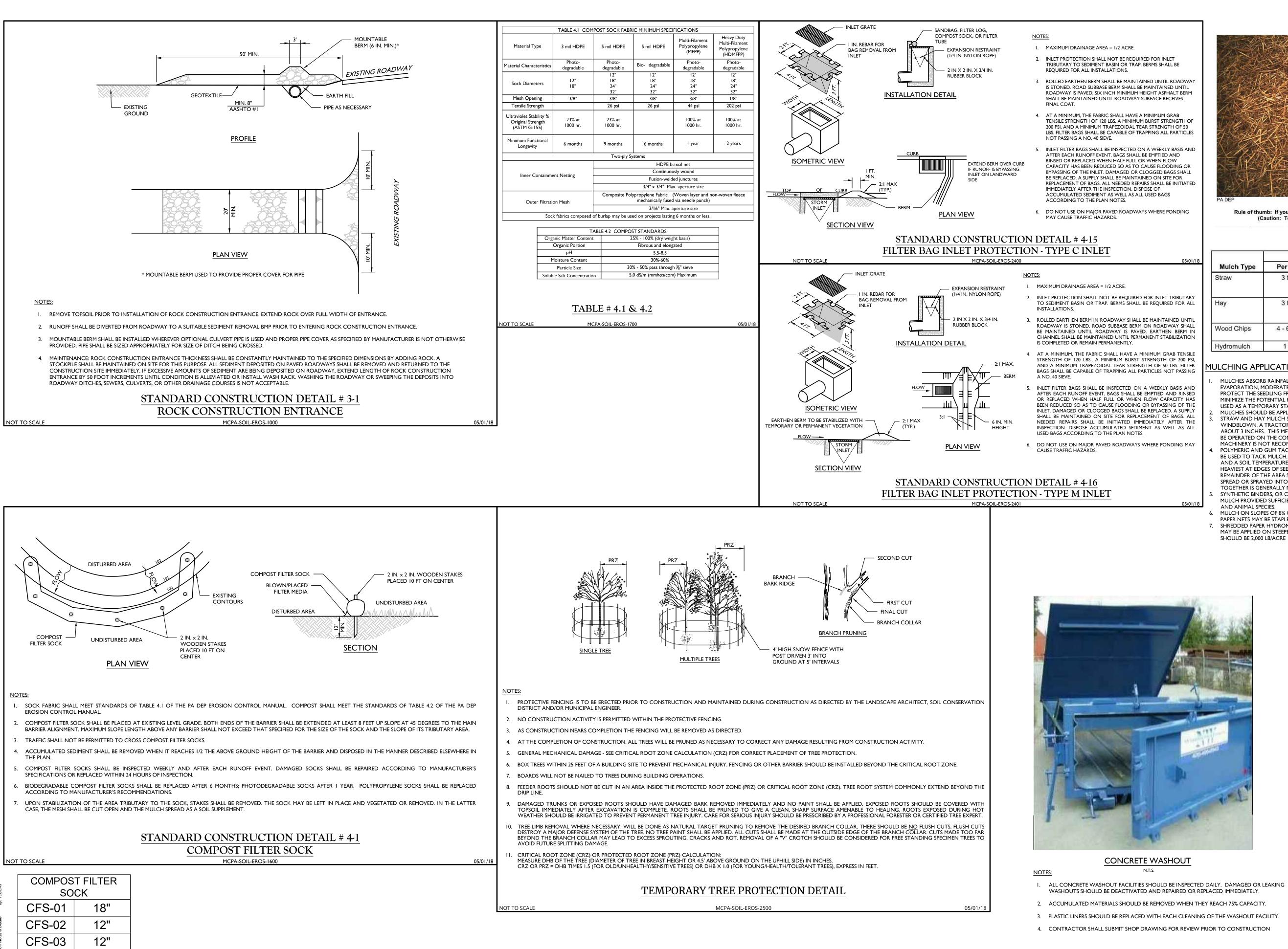
A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS. B. MULCH NETTINGS - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.

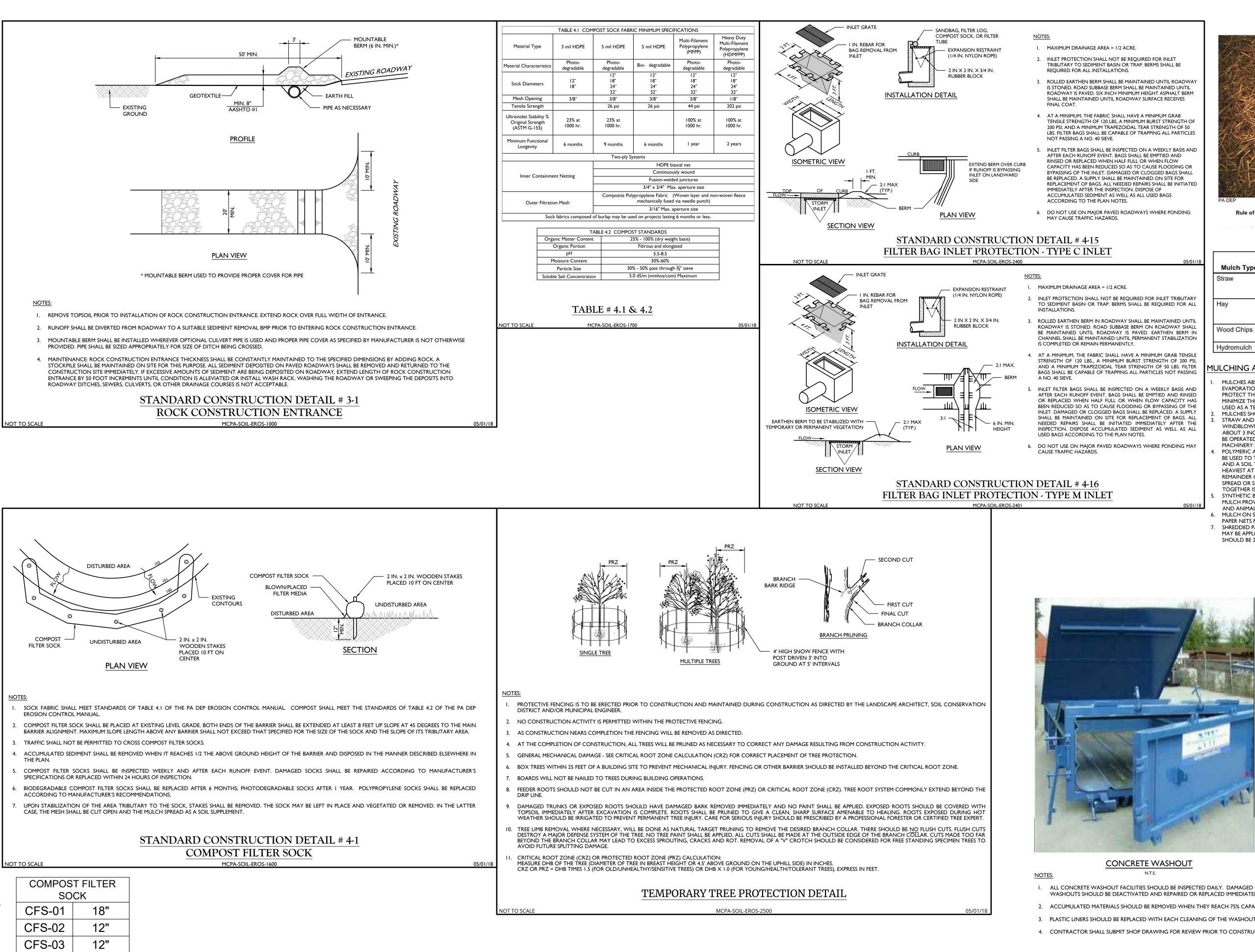
C. CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHOULD BE ON THE CONTOUR. D. LIQUID MULCH-BINDER

1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN 2. USE ONE OF THE FOLLOWING:

a. ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER. b. SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS

Seal   Just Properties   Just P								
30349-2998 Telephone 404-765-8000 Telephone 404-765 Telephone 40					•	•	•	&
Image: Second State College       Image: Second State College         Image: Second State		A	tlar 30	nta, 349	Geo -29	orgi 98	a	
Image: State of the second processional information of the second procession of the	Τe	elep	hon	e 4	04-7	765-	-800	
Image: Seal							μ	DRAWN
Seal Seal Seal Seal Seal Seal Seal Seal							0	DESCRIPTION
Seal Seal Seal Seal Seal Seal Seal Seal		-	-				1/7/2022	DATE
JUSTIN RYAN THORNTON         PRESIDE         PUSSION         JUSTIN RYAN THORNTON         PUSSION         LCENST         PUSSION         Collers         Bagineering							-	REV
A Design     Www.colliersengineering.com     Doing Business as     PITTSBURGH     IsoI Redsdale Street,     Suite 303     Presburgh, PA, 15233     Phore: 412.618.5390     Control of the street	PENN	ISYLVAN	VIA REG LICENS	No. PE	Th DPROF IBER: PE	ESSION, E083279	AL ENG	2 INEER
CENTRE COUNTY PENNSYLVANIA PRELIMINARY & FINAL MAJOR SITE PLAN OIL EROSION NOTES & DETAILS DVVG EDITION 2.0 Preliminary 80% Submittal For Construction File No.: <u>20005724A</u> Store : <u>2603</u> Date : <u>11/12/21</u> Drawn By: <u>IT</u> Checked By: <u>IRT</u>	Copyrigh contained it is certi	www Doing 	v.colli Busin Iso Pitt Ph Holder Holder TCC TCCCCCCCCCCCCCCCCCCCCCCCCCCCCCCCC	ierser ess as PITTSE Virg Desgn AI virg Desgn AI virg Desgn AI virg Desgn AI	& Do ngine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine agine	esig ering ering ering ering ering 1. This drawing 1900 1. This drawing 1. Thi	n .com ASEH  sand all the in the upon for the upon for	formation r owhom any other
■ 80% Submittal □ For Construction File No.: <u>20005724A</u> Store : <u>2603</u> Date : <u>11/12/21</u> Drawn By: <u>IT</u> Checked By: <u>IRT</u>	PI OI & [	CE PI REL M/	NT ENI AJO RC	RE NSY RS SIC	CO (LV/ RY ITE DN	UN ANI & FI PL/ N	TY A INA AN OT	\L
C 9	Fi St D C	80' Fo le l or ate rav	% S r C No e vn	By	mit stru :	ucti 2000 1	)572 26 1/12	503 /21 _JT





NOT	то	SCAL	E

	COMPOST FILTER					
SO	CK					
CFS-01	18"					
CFS-02	12"					
CFS-03	12"					
CFS-04	12"					
CFS-05	12"					
CFS-06	12"					
CFS-07	12"					



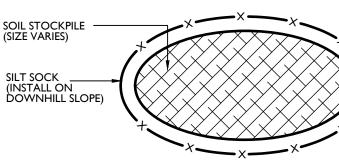
Rule of thumb: If you are seeing a lot of bare ground, there is not enough straw. (Caution: Too much straw can be as harmful as too little straw.) **TABLE 11.6** 

Mulch Application Rates

		Application Rate (M	in.)	
Mulch Type	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	Notes
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw, free of weeds, not chopped or finely broken
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses
Wood Chips	4 - 6 tons	185 - 275 lb.	1,650 - 2,500 lb.	May prevent germination of grasses and legumes
Hydromulch	1 ton	47 lb.	415	See limitations above

MULCHING APPLICATION:

- MULCHES ABSORB RAINFALL IMPACT, INCREASE THE RATE OF INFILTRATION, REDUCE SOIL MOISTURE LOSS DUE TO EVAPORATION, MODERATE SOIL TEMPERATURES, PROVIDE A SUITABLE ENVIRONMENT FOR GERMINATION, AND PROTECT THE SEEDLING FROM INTENSE SUNLIGHT. ALL SEEDED AREAS SHOULD BE MULCHED OR BLANKETED TO MINIMIZE THE POTENTIAL FOR FAILURE TO ESTABLISH AN ADEQUATE VEGETATIVE COVER. MULCHING MAY ALSO BE USED AS A TEMPORARY STABILIZATION OF SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN TABLE 11.6
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEIN WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL -ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H: IV. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
- POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45 F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDED AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.
- SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
- MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OI PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5% WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.

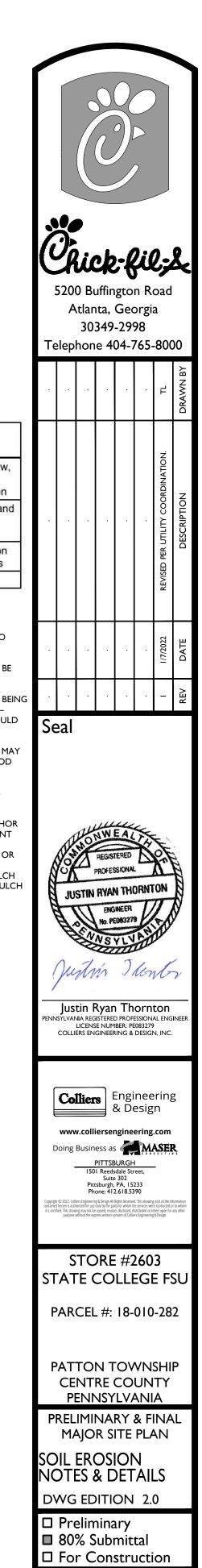


## NOTES

SILT SOCK

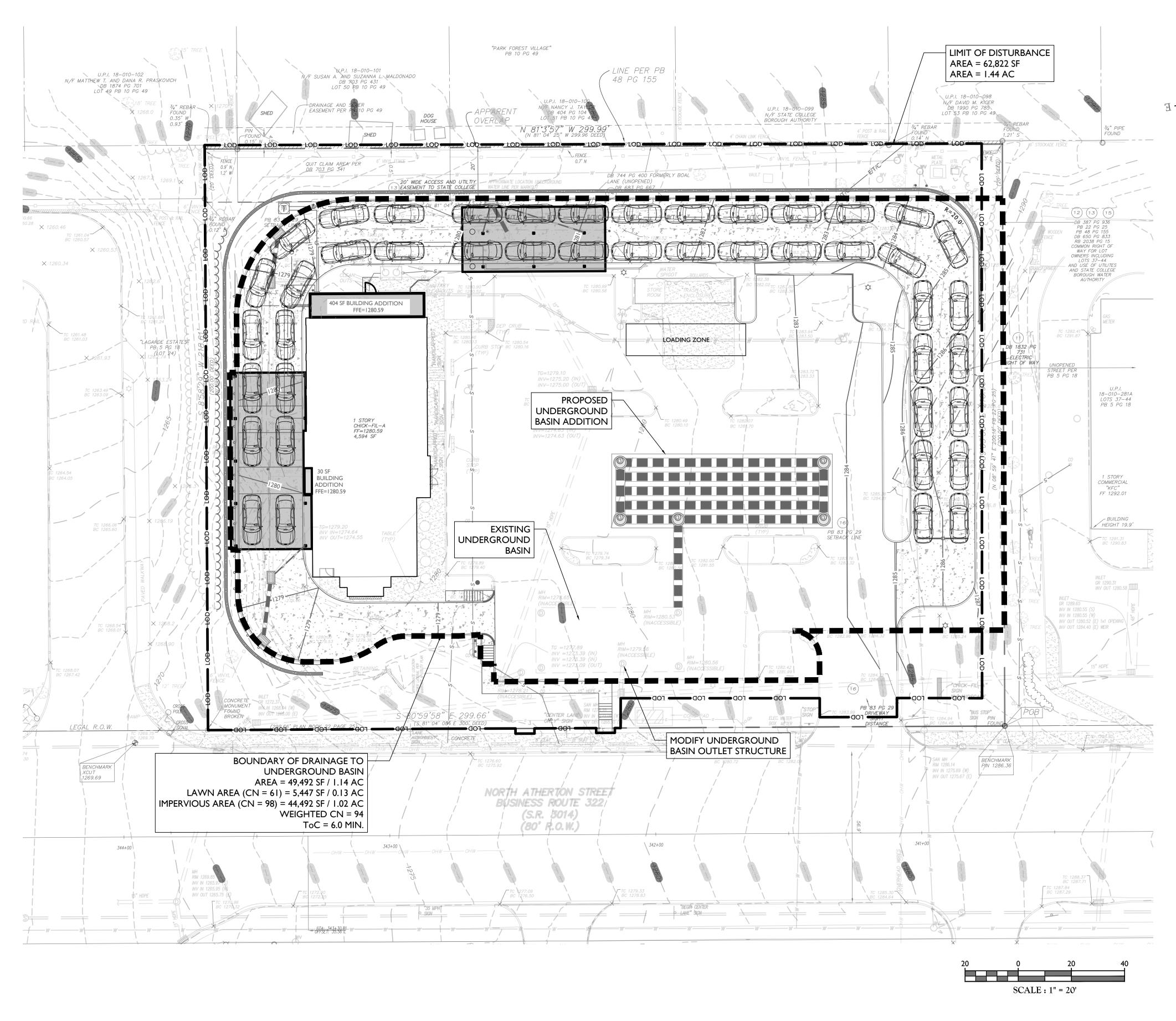
- I. IF A SOIL STOCKPILE IS TO REMAIN FOR A PERIOD GREATER THAN 4 DAYS, STOCKPILE SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS OF TEMPORARY SOIL STABILIZATION.
- 2. SILT FENCE TO BE INSPECTED FREQUENTLY AND REPAIRED OR REPLACED AS NECESSARY

SOIL STOCKPILE DETAIL N.T.S.



L For Construction						
File No.:		20005724A				
Store	:	2603				
Date	:.	11/12/21				
Drawn B	y: .	JT				
Checked B	•	JRT				
Sheet	/					

## FIGURE 11.4



DRD OF THE SITE HEREIN ISION.		PROOF OF RECORDIN
	COMMONWEALTH OF PENNSYLVANIA )	SS:
DATE	COUNTY OF CENTRE )	33.
THE TOWNSHIP OF PATTON AT THE REGULAR		
	GIVEN UNDER MY HAND AND SEAL THIS	DAY OF
	(SEAL)	
DATE		
DATE		
	MANAGER, DEPARTMENT OF REAL ESTAT	 F
	THE TOWNSHIP OF PATTON AT THE REGULAR DATE	DATE       COMMONWEALTH OF PENNSYLVANIA         DATE       COUNTY OF CENTRE         THE TOWNSHIP OF PATTON AT THE REGULAR       RECORDED IN THE DEPARTMENT OF REAL         PENNSYLVANIA, IN PLAN BOOK VOLUME       GIVEN UNDER MY HAND AND SEAL THIS         DATE       (SEAL)         DATE

#### NOTES:

- 1. THE RECEIVING STREAM IS BIG HOLLOW WITHIN BALD EAGLE CREEK WATERSHED. USE DESIGNATION IS CWF, MF (COLD WATER FISHES,
- OF THE PROJECT SITE.
- 2. PROPOSED LIMIT OF DISTURBANCE IS 62,822 SF (1.44 AC.) 3. THERE ARE NO STREAMS, WETLANDS, FLOODWAYS, OR WATERCOURSES WITHIN THE PROPOSED DEVELOPMENT AREA.
- PCSM PLAN OBJECTIVES:
- 1. PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND
- PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM. 2. PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF.
- 3. MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME. 4. MINIMIZE IMPERVIOUS AREAS.
- 5. MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION.
- 6. MINIMIZE LAND CLEARING AND GRADING. 7. MINIMIZE SOIL COMPACTION. 8. UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMPs THAT PREVENT AND MINIMIZE CHANGES IN STORMWATER RUNOFF.

## UNDERGROUND BASIN SEQUENCE OF INSTALLATION

- 1. REMOVE EXISTING ASPHALT AND STONE BASE. 2. EXCAVATE TO DESIGN STONE BASE ELEVATION. SCARIFY COMPACTED SOIL AND PLACE 6" STONE BASE.
- (CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE SUBGRADE PREPARATION.)
- 3. INSTALL ADS N-12 UNDERGROUND BASIN SYSTEM. (CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A
- 4. PLACE 12" STONE COVER AND BACKFILL WITH SOIL TO DESIGN SUBGRADE ELEVATION FOR THE PARKING LOT. 5. COMPLETE WITH SUBBASE AND PAVEMENT FOR THE PARKING LOT AREA.

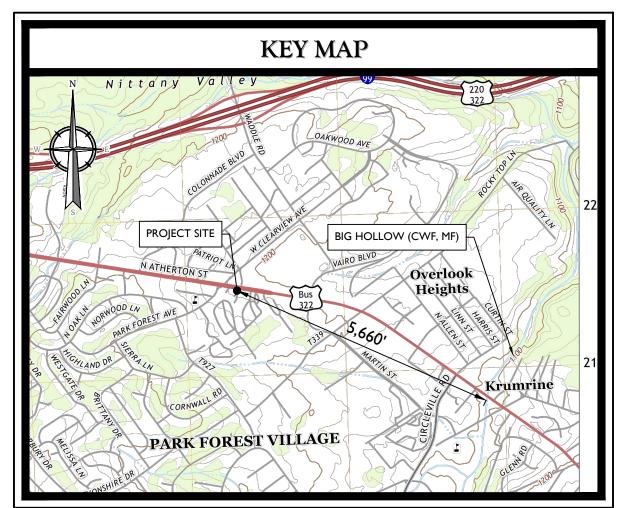
## UNDERGROUND BASIN MAINTENANCE PROGRAM:

1. MAINTAINED BY: PROPERTY OWNER 2. UNDERGROUND BASIN WILL BE INSPECTED FOR ANY DEBRIS AND SETTLEMENT TWICE A YEAR. PERFORM ANY NECESSARY MAINTENANCE. ALL TRASH/DEBRIS/SETTLEMENT SHALL BE DISPOSED OF PROPERLY.

#### STORMWATER MANAGEMENT

- EXISTING UNDERGROUND BASIN 5 ROWS OF 55 FT CLOSED 36" PIPE
- SURFACE AREA: 1,355 SF BOTTOM ELEVATION: 1,273.14' • TOP ELEVATION: 1,276.14'
- DEPTH: 3.0' • STRUCTURAL STORAGE VOLUME PROVIDED: 1,944 CF
- PROPOSED UNDERGROUND BASIN ADDITION 5 ROWS OF 80 FT OPEN 36" PIPE
- PURPOSE: REDUCE RUNOFF VOLUME AND PEAK RATE DISCHARGE
   SURFACE AREA: 2,310 SF
- BOTTOM ELEVATION: 1,273.14' • TOP ELEVATION: 1,278.14'
- DEPTH: 5' • STRUCTURAL STORAGE VOLUME PROVIDED: 6,043 CF
- DRAINAGE INFORMATION IMPERVIOUS AREA = 42,580 SF / 0.98 AC
- LAWN AREA = 6,912 SF / 0.16 AC
  DRAINAGE AREA 2-YEAR RUNOFF VOLUME = 7,710 CF

Y OF CENTRE, COMMONWEALTH OF



SCALE: I"=2,000' (APPROXIMATE)

MIGRATORY FISH). THIS STREAM IS LOCATED APPROXIMATELY 5,660 FT EAST

SITE INSPECTION OF THE UNDERGROUND BASIN SYSTEM INSTALLATION.)

• PURPOSE: REDUCE RUNOFF VOLUME AND PEAK RATE DISCHARGE

PROPOSED BMP DRAINAGE AREA

#### SOIL USE LIMITATIONS AND RESOLUTIONS:

PROPOSED LIMIT OF DISTURBANCE

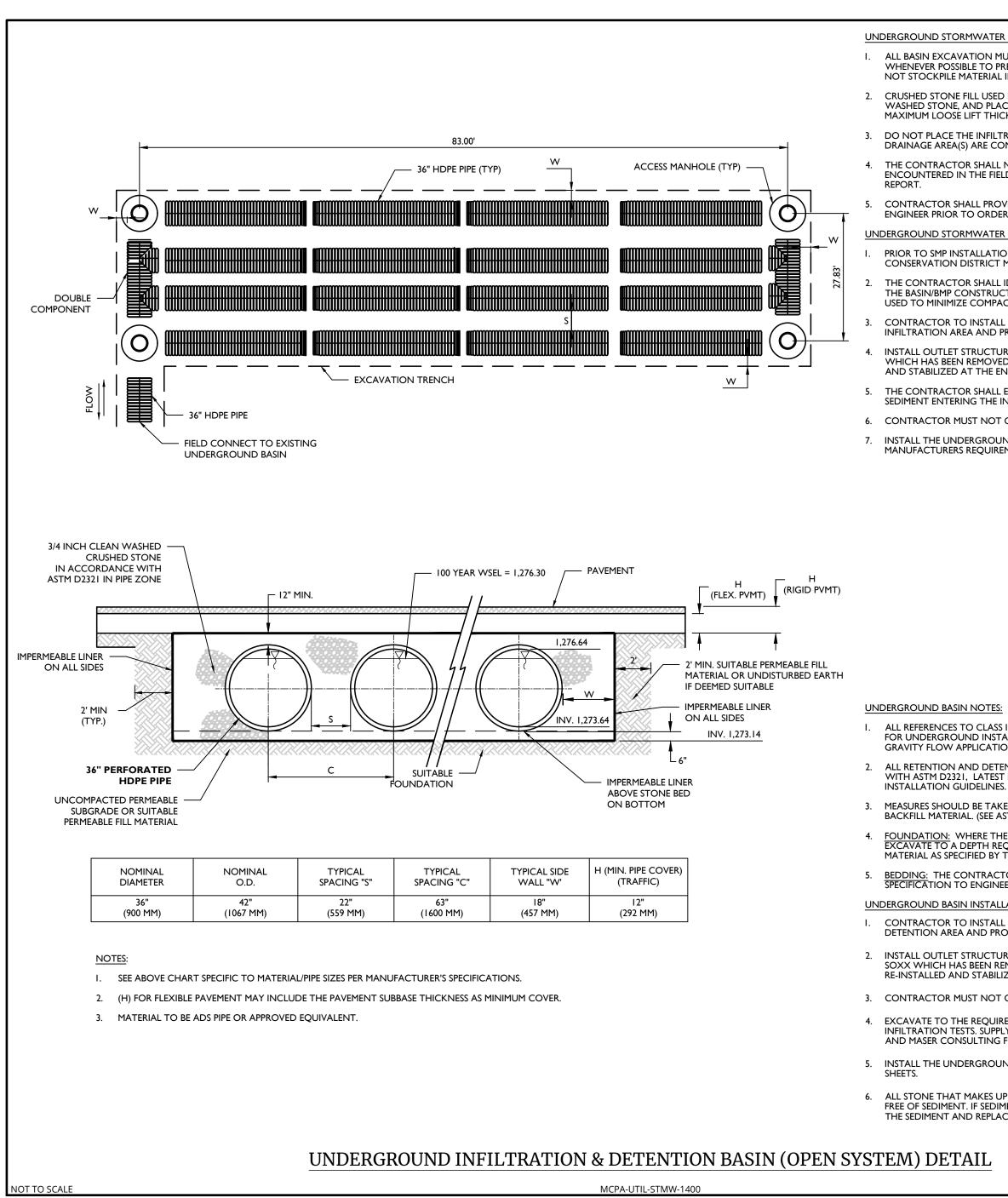
BASED ON THE WEB SOIL REPORT OF CENTRE COUNTY, THE EXISTING SOIL CLASSIFICATION WITHIN THE PROJECT AREA IS MrB (MORRISON SANDY LOAM, 2 TO 8 PERCENT SLOPES). MrB IS NOT HYDRIC SOIL. THE SOIL USE LIMITATIONS FOR MORRISON ARE LISTED BELOW. WHEN ISSUES OCCUR DURING CONSTRUCTION, USE BELOW RESOLUTIONS OR CONSULTANT WITH THE ENGINEERS.

SOIL EROSION LEGEND

- SOIL USE LIMITATIONS: 1. CUTBANKS CAVE
- 2. CORROSIVE TO CONCRETE
- 3. EASILY ERODIBLE
- 4. LOW STRENGTH/LANDSLIDE PRONE 5. SLOW PERCOLATION
- 6. FROST ACTION 7. POTENTIAL SINKHOLE
- RESOLUTION: 1. CUTBANKS CAVE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS.
- 2. CORROSIVE TO CONCRETE/STEEL: CORROSIVE RESISTANT MATERIALS WILL BE USED OR CORROSIVE RESISTANT PRODUCTS WILL BE APPLIED TO THE SURFACE OF STEEL/CONCRETE FEATURES THAT CONTACT THE SOIL.
- 3. DROUGHTY: COMPOST WILL BE ADDED TO IMPROVE EXISTING SOIL CONDITIONS IF NECESSARY. (NOT ANTICIPATED) 4. EASILY ERODIBLE: DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH
- TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS. 5. DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE: FILTER BAGS WILL BE USED
- IF WATER IS ENCOUNTERED DURING CONSTRUCTION. 6. HYDRIC/HYDRIC INCLUSIONS: HYDRIC SOILS ARE NOT EXPECTED ON THIS SITE. 7. LOW STRENGTH/LANDSLIDE PRONE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE
- WITH OSHA STANDARDS, AND DISTURBED AREAS WILL BE STABILIZED WITH TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS. 8. SLOW PERCOLATION: NO INFILTRATION IS PROPOSED.
- 9. PIPING: ALL PIPE EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS. 10. POOR SOURCE OF TOPSOIL: ADD COMPOST TO IMPROVE SOIL CONDITION. USE SOILS
- FROM TOPSOIL STOCKPILES. IF NECESSARY, IMPORT TOPSOIL. 11. FROST ACTION: ALL PIPING WILL BE INSTALLED BELOW FROST LINE.
- 12. POTENTIAL SINKHOLE: MAINTAIN SEPARATION FROM INFILTRATION OF STORMWATER. MITIGATE POTENTIAL VOIDS DURING CONSTRUCTION. 13. WETNESS: NOT APPLICABLE.

		520	0 Bi	uffin	gto	n R	oad	<b>%</b>
	_		30	349	Geo -299	98		
	Ιe	elep	hon	e 4	04-7	/65-	-800	
							TL	DRAWN BY
							REVISED PER UTILITY COORDINATION.	DESCRIPTION
						-	1/7/2022	DATE
							_	REV
R D	<image/> <text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text>							
	STORE #2603 STATE COLLEGE FSU PARCEL #: 18-010-282 PATTON TOWNSHIP CENTRE COUNTY PENNSYLVANIA						2	
		MA		r s	RY ITE	-		Ĺ
		Pre	elin	nina	ON ary mit		0	
					stru			<u>4A</u>
	D D		e wn	Ву	: : : /:		1/12/	JT
	Sh	eet						





I HEREBY CERTIFY THAT I AM THE OWNER OF REC DEPICTED AND THAT I CONCUR WITH THE SUBM		PROOF OF RECORDING
OWNER	DATE	COMMONWEALTH OF PENNSYLVANIA ) ) SS: COUNTY OF CENTRE )
APPROVED BY THE ZONING HEARING BOARD OF MEETING OF	THE TOWNSHIP OF PATTON AT THE REGULAR	RECORDED IN THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF CENTRI PENNSYLVANIA, IN PLAN BOOK VOLUME, PAGE
DATE		GIVEN UNDER MY HAND AND SEAL THISDAY OF20
		(SEAL)
CHAIRMAN	DATE	
SECRETARY	DATE	
		MANAGER, DEPARTMENT OF REAL ESTATE
ENGINEER	DATE	

#### UNDERGROUND STORMWATER INFILTRATION BASIN NOTES

. ALL BASIN EXCAVATION MUST BE PERFORMED BY EQUIPMENT PLACED OUTSIDE THE BASIN WHENEVER POSSIBLE TO PREVENT THE COMPACTION OF THE BASIN SUBGRADE SOILS. DO NOT STOCKPILE MATERIAL IN THE AREA OF THE BASIN.

2. CRUSHED STONE FILL USED IN SUBSURFACE INFILTRATION BASINS SHALL BE CLEAN WASHED STONE, AND PLACED IN LIFTS AND COMPACTED USING PLATE COMPACTORS. A MAXIMUM LOOSE LIFT THICKNESS OF 12 INCHES IS RECOMMENDED.

3. DO NOT PLACE THE INFILTRATION BASIN(S) INTO OPERATION UNTIL THE CONTRIBUTARY DRAINAGE AREA(S) ARE COMPLETELY STABILIZED. 4. THE CONTRACTOR SHALL NOTIFY THE SITE ENGINEER IMMEDIATELY IF SOIL CONDITIONS

ENCOUNTERED IN THE FIELD DIFFER FROM WHAT IS SHOWN IN THE GEOTECHNICAL 5. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE

ENGINEER PRIOR TO ORDERING MATERIAL. UNDERGROUND STORMWATER INFILTRATION BASIN INSTALLATION NOTES:

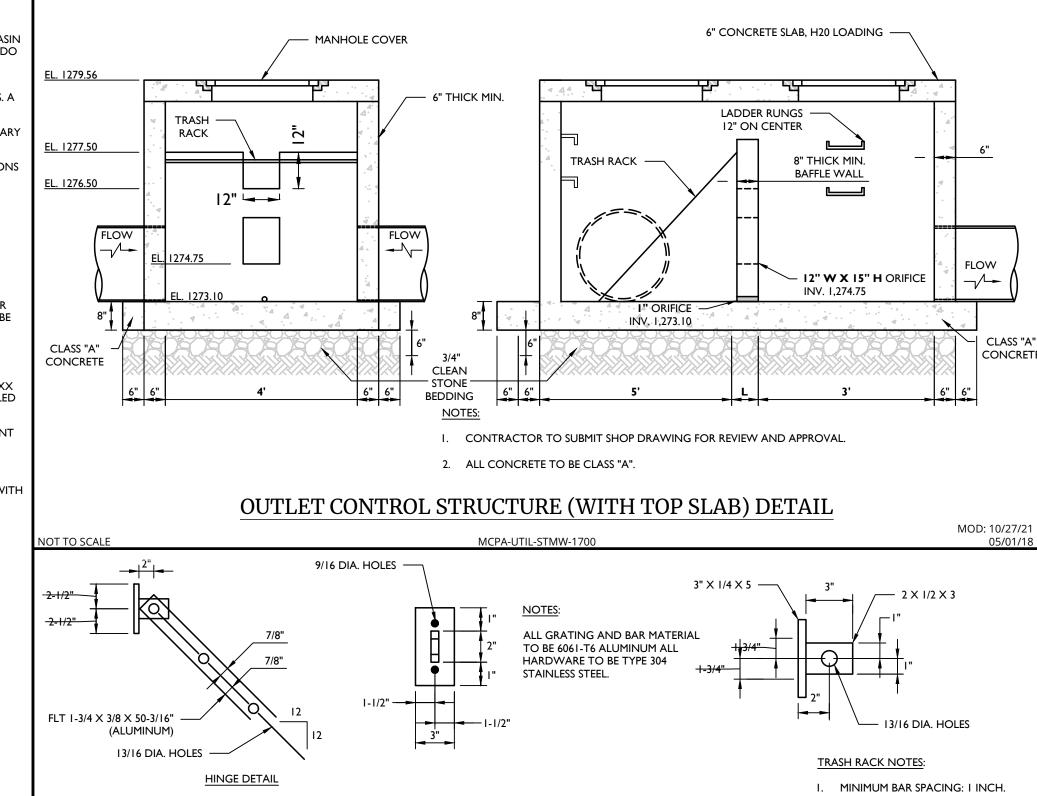
PRIOR TO SMP INSTALLATION, THE INSPECTIONS COORDINATOR OF COUNTY CONSERVATION DISTRICT MUST BE CONTACTED TO SCHEDULE AN INSPECTION. THE CONTRACTOR SHALL IDENTIFY THE CONSTRUCTION EQUIPMENT TO BE USED FOR THE BASIN/BMP CONSTRUCTION AND THE CONSTRUCTION TECHNIQUES THAT WILL BE

USED TO MINIMIZE COMPACTION OF THE INFILTRATION AREA. CONTRACTOR TO INSTALL SILT SOXX AROUND THE ENTIRE UNDERGROUND

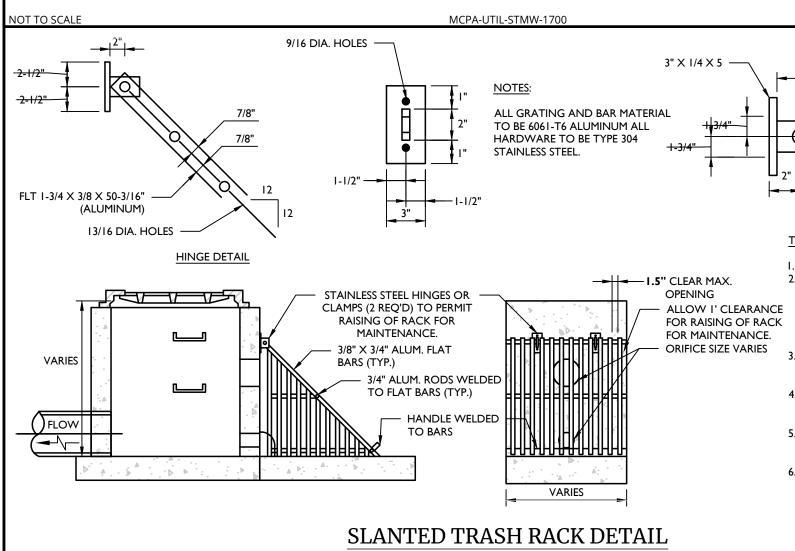
INFILTRATION AREA AND PROTECT THE AREA AT ALL TIMES. 4. INSTALL OUTLET STRUCTURE AND OUTLET PIPE. CONSTRUCTION FENCE AND SILT/SOXX WHICH HAS BEEN REMOVED FOR THIS STAGE OF CONSTRUCTION MUST BE RE-INSTALLED

AND STABILIZED AT THE END OF THE WORKING DAY. THE CONTRACTOR SHALL ENSURE THAT PROPER PRECAUTIONS ARE TAKEN TO PREVENT SEDIMENT ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.

6. CONTRACTOR MUST NOT COMPACT THE SUBGRADE ELEVATION OF THE SMP. 7. INSTALL THE UNDERGROUND INFILTRATION BASIN AS INDICATED IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS.



MCPA-UTIL-STMW-1801



I. ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.

2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED

3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL. (SEE ASTM D2321)

4. <u>FOUNDATION:</u> WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. 5. <u>BEDDING:</u> THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER.

UNDERGROUND BASIN INSTALLATION NOTES:

. CONTRACTOR TO INSTALL SILT SOXX AROUND THE ENTIRE UNDERGROUND DETENTION AREA AND PROTECT THE AREA AT ALL TIMES.

2. INSTALL OUTLET STRUCTURE AND OUTLET PIPE. CONSTRUCTION FENCE AND SILT SOXX WHICH HAS BEEN REMOVED FOR THIS STAGE OF CONSTRUCTION MUST BE RE-INSTALLED AND STABILIZED AT THE END OF THE WORKING DAY.

3. CONTRACTOR MUST NOT COMPACT THE SUBGRADE ELEVATION OF THE BMP.

EXCAVATE TO THE REQUIRED DEPTH AND PERFORM TWO (2) DOUBLE RING INFILTRATION TESTS. SUPPLY THE INFORMATION TO THE GEOTECHNICAL ENGINEER AND MASER CONSULTING FOR APPROVAL.

5. INSTALL THE UNDERGROUND DETENTIONS SYSTEM AS INDICATED ON THE DETAIL

ALL STONE THAT MAKES UP THE UNDERGRUND DETENTION FACILITY MUST REMAIN FREE OF SEDIMENT. IF SEDIMENT ENTERS THE STONE, THE CONTRACTOR MUST REMOVE THE SEDIMENT AND REPLACE IT WITH CLEAN-WASHED STONE.

MOD: 11/09/21 05/01/18

NOT TO SCALE

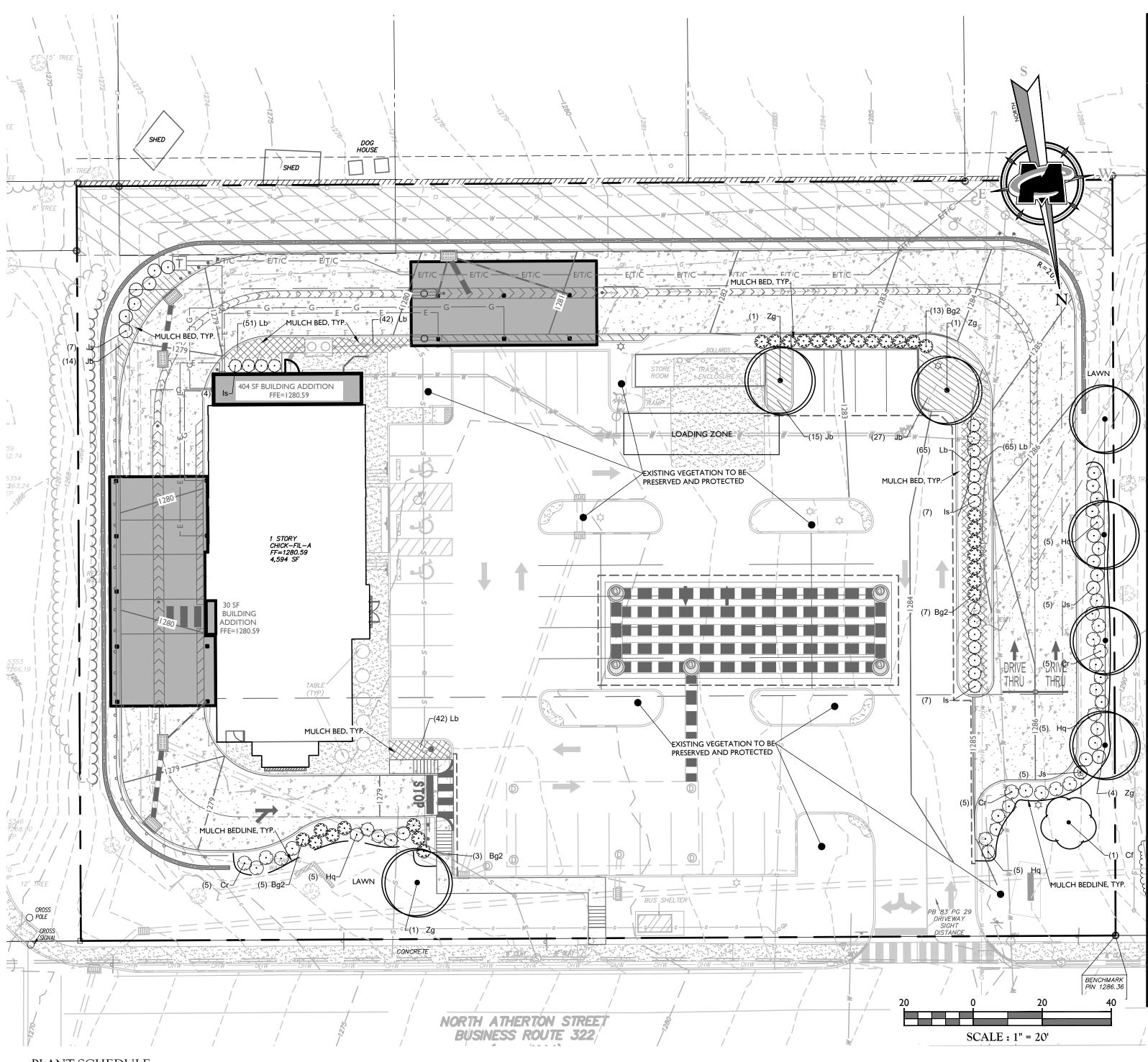
F CENTRE, COMMONWEALTH OF

MINIMUM BAR SPACING: I INCH. MAXIMUM BAR SPACING: 1/3 THE DIAMETER OF THE ORIFICE OR 1/3 THE WIDTH OF WEIR, WITH A MAXIMUM SPACING OF 6 INCHES, FOR ELEVATIONS IN EXCESS OF WATER QUALITY DESIGN STORM. MAXIMUM AVERAGE VELOCITY OF
FLOW THROUGH CLEAN RACK: 2.5
FEET/SECOND.
CONSTRUCTED OR RIGID, DURABLE
AND CORROSION RESISTANT
MATERIAL, AND
DESIGNED TO WITHSTAND A
PERPENDICULAR LIVE LOADING OF
300 LBS./SF.
CONTRACTOR TO SUBMIT SHOP
DRAWINGS.

05/01/1

5200 Buffington Road Atlanta, Georgia 30349-2998 Telephone 404-765-8000 Seal PROFESSIONAL JUSTIN RYAN THORNTO Jugan Montor Justin Ryan Thornton NNSYLVANIA REGISTERED PROFESSIONAL ENGINE LICENSE NUMBER: PE083279 COLLIERS ENGINEERING & DESIGN, INC. Colliers Engineering & Design www.colliersengineering.com Doing Business as PITTSBURGH 1501 Reedsdale Street, Suite 302 Pittsburgh, PA, 15233 Phone: 412.618.5390 ht © 2022. Colliers Engineering & Design All Rights Reserved. This d I herein is authorized for use only by the party for whom the servic This drawing may not be copied, reused, disclosed, distributed or relied purpose without the express written consent of Colliers Engineering & D STORE #2603 STATE COLLEGE FSU PARCEL #: 18-010-282 PATTON TOWNSHIP CENTRE COUNTY PENNSYLVANIA **PRELIMINARY & FINAL** MAJOR SITE PLAN PCSM NOTES & DETAILS DWG EDITION 2.0 □ Preliminary ■ 80% Submittal □ For Construction File No.: \_\_\_\_\_\_20005724/ : \_\_\_\_\_\_2603 Store Date : \_\_\_\_\_11/12/21 Drawn By: \_ Checked By: \_ Sheet

C 12



## PLANT SCHEDULE

ORDINANCE REQUIREMENTS:

158-38. OFF STREET PARKING REGULATIONS:

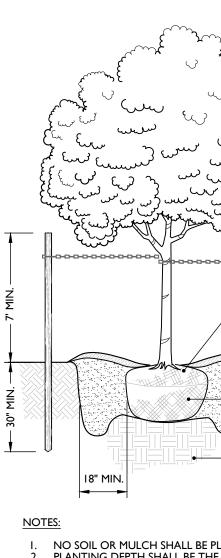
<u>TREES</u> Zg	<u>QTY</u> 7	BOTANICAL NAME Zelkova serrata 'Green Vase'	<u>COMMON NAME</u> Green Vase Sawleaf Zelkova
FLOWERING TREES Cf	<u>QTY</u> 1	BOTANICAL NAME Cornus florida	<u>COMMON NAME</u> Flowering Dogwood
SHRUBS Bg2	<u>QTY</u> 28	BOTANICAL NAME Buxus x 'Green Velvet'	<u>COMMON NAME</u> Green Velvet Boxwood
Cr	15	Cornus sericea	Red Twig Dogwood
Hq	20	Hydrangea quercifolia	Oakleaf Hydrangea
ls	18	llex glabra 'Shamrock'	Shamrock Inkberry Holly
Js	17	Juniperus x pfitzeriana 'Sea Green'	Sea Green Pfitzer Juniper
GROUND COVERS	<u>QTY</u> 72	BOTANICAL NAME Juniperus horizontalis 'Blue Chip'	COMMON NAME Blue Chip Juniper
Lb	265	Liriope muscari 'Big Blue'	Big Blue Lilyturf

#### <u>SIZE</u> 2.5"Cal B & E <u>SIZE</u> 2.5"Cal B & B CON SIZE REMARKS 24"-30" MIN. 24"-30" MIN 30"-36" MIN. 24"-30" MIN 24"-30" MIN CONT 2 gal SP<u>ACING</u> REMARK 36" O.C.

18`` O.C. 18" o.c.

1gal

REMARKS FALL DIGGING HAZARD REMARKS



## D. (9) (c) PERIMETER PLANTING;

REQUIRED: 634 SF / 45 SF = 14 TREES REQUIRED @ 2.5" MIN. CALIPER PROVIDED: 4 EXISTING TREES IN PARKING LOT ISLANDS, 2 AT FRONTAGE (N. ATHERTON ST.) 8 PROPOSED TREES @ 2.5" MIN CALIPER 14 TREES TOTAL PROVIDED

### GENERAL PLAN

A. GENERAL

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
- 3. OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
- **B. PLANT MATERIAL**
- I. <u>PLANT MATERIAL</u>:
- PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2014 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED 1.1. BY AMERICANHORT IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, 1.2. DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL 1.3. BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
- PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY 1.5. AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
- PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
- <u>PLANT SIZE:</u> THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
- SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BY DOCUMENTED BY THE CONTRACTOR.
- GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS DEAD WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OR ONE GROWING SEASON. TREE STAKES AND ARBOR TIES SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.

C. TOPSOIL REQUIREMENTS:

- 1. TOPSOIL REQUIREMENTS: SEE NJDOT SECTION 917 FOR REFERENCE AND SOIL ADDITIVES.
- I.I. UNACCEPTABLE TOPSOIL SOURCES: DO NOT OBTAIN TOPSOIL FROM THE FOLLOWING SOURCES: AREAS CONTAINING CHEMICALLY CONTAMINATED SOILS. AREAS FROM WHICH THE ORIGINAL SURFACE HAS BEEN STRIPPED OR COVERED OVER, SUCH AS BORROW PITS, OPEN MINES, DEMOLITION SITES, DUMPS, LANDFILLS. NO TOPSOIL FROM WET EXCAVATION OR ACID PRODUCING SOILS.
- TOPSOIL SHALL BE UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARD PAN, SODS, LARGE STONE, CEMENT, 1.2. ASH, SLAG, CONCRETE, TAR, BOARDS, CHIPS, MULCH, OR ANY OTHER UNDESIRABLE MATERIALS. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION.
- TOPSOIL PH REQUIREMENTS ARE AS FOLLOWS: PH < 4.1 TOPSOIL IS UNACCEPTABLE. 4.1 ≤ PH < 5.8 ADD PULVERIZED LIME TO 1.3. INCREASE THE PH TO 6.5 BEFORE USE. 5.8 ≤ PH < 7.0 TOPSOIL IS ACCEPTABLE. NO REMEDIATION NEEDED. 7.0 ≤ PH < 7.2 DECREASE PH TO AT LEAST 6.8 BEFORE USE. PH  $\geq$  7.2 TOPSOIL IS UNACCEPTABLE.
- ORGANIC CONTENT. ENSURE THAT TOPSOIL HAS A MINIMUM ORGANIC CONTENT OF 2.75% BY WEIGHT. IF THE ORGANIC CONTENT IS LESS THAN 2.75%, INCREASE THE ORGANIC CONTENT BY ADDING SOIL ADDITIVES AT A RATE NECESSARY TO ATTAIN THE MINIMUM ORGANIC CONTENT. THE ORGANIC CONTENT SHALL NOT EXCEED 8% BY WEIGHT AND SHALL BE SAMPLED IN ACCORDANCE WITH THE ASSOCIATION OF AGRICULTURAL CHEMISTS.
- GRADATION/PARTICLE SIZE. PROVIDE TOPSOIL CONFORMING TO THE PARTICLE SIZE REQUIREMENTS IN TABLE 917.01-2 AND THAT HAS NO MORE THAN 20 PERCENT RETAINED ON A NO. 10 SIEVE WHEN MECHANICALLY GRADED. THE DEPARTMENT WILL DETERMINE THE PARTICLE SIZE DISTRIBUTION FOR THE PORTION OF THE TOPSOIL PASSING THE NO. 10 SIEVE USING HYDROMETER ANALYSIS ACCORDING TO AASHTO T 88. SAND (2.0 MM TO 0.05 MM) 40 - 80% COMPOSITION. SILT (0.05 MM TO 0.005 MM) 0 - 30% COMPOSITION. CLAY (0.005 MM AND SMALLER) 10 - 30% COMPOSITION.

2. PREPARATION OF SUBGRADE:

- 2.1. HOLLOWS, DEPRESSIONS, AND GULLIES SHALL BE FILLED WITH ACCEPTABLE SANDY LOAM AS OUTLINED ABOVE OR SOIL AS DESCRIBED HEREON: SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERI LOOSEN SUBSOIL BY SCARIFYING, RIPPING OR TILLING USING DISKS, HARROWS OR OTHER SUITABLE EQUIPMENT TO A 2.2.
- DEPTH OF 4"-6" IMMEDIATELY BEFORE PLACING ANY TOPSOIL. REPEAT IN AREAS WHERE SEED OR PLANTINGS ARE PROPOSED AND THERE HAS BEEN COMPACTED SOIL.
- 3. TESTING AND APPROVAL OF SOILS:
- THE CONTRACTOR SHALL SUBMIT A CERTIFIED REPORT SHOWING THE ANALYSIS OF REPRESENTATIVE SAMPLES OF 3.1. TOPSOIL. TESTING SHALL BE PERFORMED BY RUTGERS COOPERATIVE RESEARCH & EXTENSION TESTING LABORATORIES OR EQUIVALENT AS APPROVED BY STATE AND LOCAL REGULATIONS. PRICE BID SHALL INCLUDE ALL INSPECTION AND LABORATORY FEES.



ARBOR TIE 2" DIA. HARDWOOD STAKES  $\frac{2}{3}$ TREE HEIGHT. 3 PER TREE LOCATED OUTSIDE OF PLANTING PIT. ALL TREE STAKES TO BE REMOVED AFTER ONE

YEAR

REMOVE ALL ROPE FROM TRUNK AND TOP OF ROOT BALL. FOLD BURLAP BACK  $\frac{1}{3}$  FROM TOP OF ROOT BALL. 4" SHREDDED HARDWOOD BARK MULCH

- 6" SAUCER RIM WIRE BASKET TO BE REMOVED. PREPARED BACKFILL MIX; SEE GENERAL PLANTING NOTE C.I (I). SOAK BACKFILL AFTER PLANTING. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

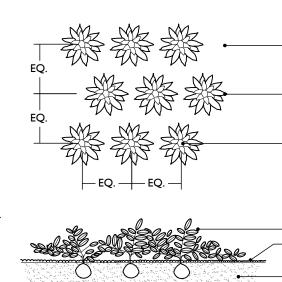
NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

L.

an

ىرىس

DECIDUOUS TREE PLANTING DETAIL

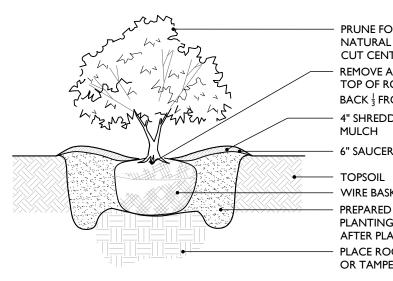


NOTES:

TYPICAL SPACING, SPACING DISTANCE AS SHOWN ON PLAN OR SPECIFIED IN PLANT SCHEDULE. PLANT ROW

PLANT CENTER

GROUNDCOVER/PERENNIAL - 4" SHREDDED HARDWOOD BARK MULCH - PLANTING MEDIUM



NOTES

NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. 2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

**GROUNDCOVER/PERENNIAL PLANTING DETAIL** 

I. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

SHRUB PLANTING DETAIL

PRUNE FOR VIGOR, MAINTAIN

NATURAL GROWTH HABIT; NEVER

CUT CENTRAL LEADER OR TRUNK.

TOP OF ROOT BALL. FOLD BURLAP

BACK  $\frac{1}{3}$  FROM TOP OF ROOT BALL.

4" SHREDDED HARDWOOD BARK

WIRE BASKET TO BE REMOVED.

PREPARED BACKFILL MIX; SEE GENERAL

- PLACE ROOT BALL ON UNEXCAVATED

PLANTING NOTE C.I(I). SOAK BACKFILL

MULCH

- 6" SAUCER RIM

AFTER PLANTING.

OR TAMPED SOIL.

REMOVE ALL ROPE FROM TRUNK AND

LAND-GENL-PLN

ITING	F NOTES									
.NT-NOTE		10/14/2021			0					
	ITING PROCEDURES						/			
I. <u>PLA</u> I.I.	PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH SOILS AS OUTLINEI SECTION C PRIOR. BACKFILL SOIL TO BE AT MINIMUM ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PAR MATERIAL.									
1.2.	PLANTING BEDS SHALL RECEIVE FOUR (4) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WIT PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR; UNDER CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.		Č	À	iC	k	·f	ilj	Ż	Ľ
I.3.	SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.		5		Buf	fing	gton	Roa	ad	
FIN. INS	INT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. AL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME TALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION CATION SHOWN.	E OF	Te		lant 303 one	49-2	299	•	:000	)
WE SEA THI	INTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON W ATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANT ISONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DUR E WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMEN ATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.	TING RING							ž	DRAWN BY
	NTING METHODS:			-	+	+	+	+	+	-
4.1.	LOCAL ORDINANCETREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPE GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.	ERLY						Ī	ż	
4.1.1.	ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOT DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER	том								NO
4.1.2.	THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRI VERTICALLY INTO THE GROUND $2\frac{1}{2}$ TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL.	IVEN						· }		CRIPTION
4.1.3.	TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF ARBOR TIE TREE TIE $(\frac{7}{16}$ " V RECOMMENDED FOR TREES UP TO 2 $\frac{1}{2}$ INCHES IN CALIPER).	VIDE							Ë I	DES
4.2.	SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATION TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PI	-							REVISED	
4.3.	AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTION SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS.	TOR				_			$\perp$	_
4.4.	B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, DAMAGED ROOTBALLS SHALL BE REJECTED.	OR							1/7/2022	DAIE
4.5.	CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER $\frac{1}{3}$ OF ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.	THE		-	+	+		+	+	
	TENANCE		·	·	•	·	·	•	- 1	REV
I. <u>PRU</u> I.I.	<u>JNING:</u> EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK	то	Se	al						
1.1.	PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRU BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.	-								
1.2.	SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7-0" AB GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".	F 30"					~~~			
I.3.	THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.			O'S	NON	GISTE	RED	Ro	Ē	
2. <u>LAV</u> 2.1.	<u>WN AREAS:</u> THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX / SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.	AND		K HIG		-	THO	RNTO	N	
2.2.	ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. S SHALL BE IN ACCORDANCE WITH THE LAWN SEED MIX NOTES AND THE SOIL EROSION AND SEDIMENT CONT DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET.			100	L	ENGIN IO. PEO	ALC: NO.	V	D	I
2.3.	SOD, IF SPECIFIED, SHALL CONSIST OF A STATE CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.	SOD		A.	No.	SY ZZZ	J	and the second	6	
CO REM SHA PRE	<u>STING VEGETATION:</u> EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCIALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BE SERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DE MAGED, OR DISEASED BRANCHES.	s to Cing Eing		SYLVANI. LI	A REGIST CENSE I	ered i Numbe	Profes: Er: Peo8	FINAL E SIONAL E 33279 ESIGN, II	ENGINE	
PLA	E <u>CLEANUP:</u> PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AF INTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEP INTING PRACTICES.									_
				Col		8	De	ieeri sign	-	
					usines	s as		ing.co		
	GENERAL NOTES				1501 F Pittsb	Suite 3 urgh, P	ale Stree 102 A, 1523	3		
	I. THIS SHEET IS TO BE USED FOR LANDSCAPE PURPOSES ONLY.		Copyright contained it is certifi	ed. This drawing	Engineering & D ted for use only i may not be cooi	esign All Righ by the party fo ed. reused. di	isclosed, distril	) is drawing and al rvices were contr juted or relied up igineering & Desi	upon for any oth	ion .tom her
	2. REFER TO SHEET I FOR GENERAL NOTES.								-	
	LANDSCAPE PLAN NOTES							603		-
	REFER TO THIS SHEET FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAI	LS.	ST	AT	ΕC	OL	LE	GE	FSl	J
	<ol> <li>REFER TO THIS SHEET FOR PLANT SCHEDULES.</li> <li>PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMA ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS.</li> </ol>	ATE;	P.	ARC	EL	#: I	8-0	10-2	282	
	ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO STE CONDITIONS.      THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHED     SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.	ULE								
	5. LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATION THE PLAN. REFER TO THE LAWN SEED MIX NOTES ON THE LANDSCIDETAILS SHEET AND THE SOIL EROSION AND SEDIMENT CONTROL PLAN F	APE		CEN	VTR	ΕC	OL	'NSH JNT NIA	Ϋ́	
	APPROVED SEED MIXTURES. 6. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHI ACCESSES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL	CLE BE	PF	RELI	MIN	AR	Y 8		JAL	-

MAJOR SITE PLAN

LANDSCAPE PLAN

DWG EDITION 2.0

Preliminary

Store

Date

Sheet

Drawn By:

Checked By:

80% Submittal

□ For Construction

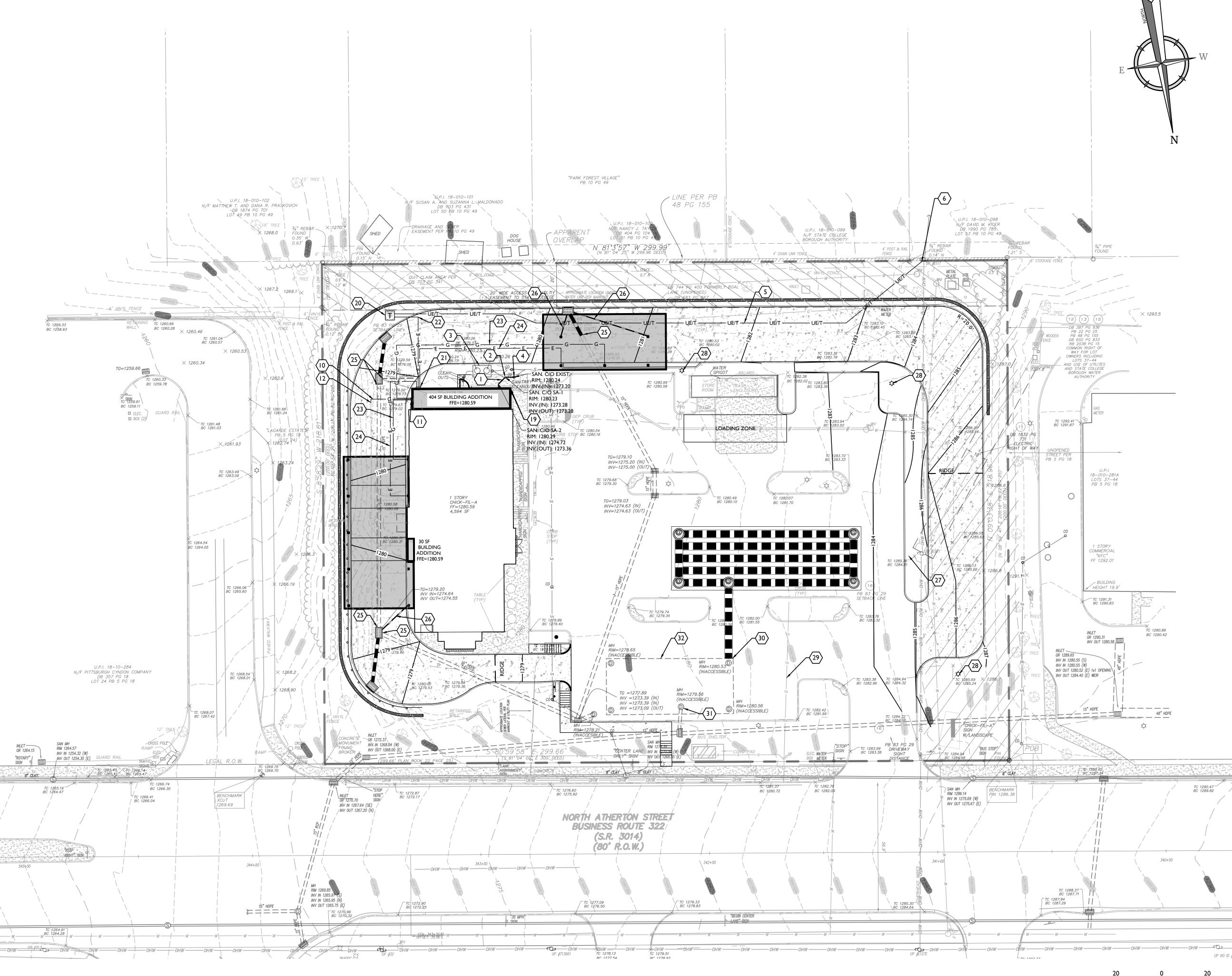
File No.: <u>20005724</u>

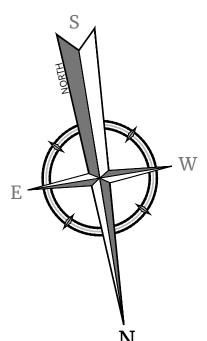
11/12/2

6. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-00" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-00" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.

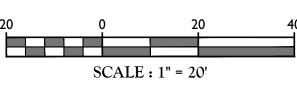
Ē	ANDSCAPE	LEGEND
X -	DECI	DUOUS TREE
Winghaus	EVER	GREEN TREE
And	ORN.	AMENTAL OR UNDERSTORY TREE
	Shru	В
	PEREI	NNIAL / ANNUAL / ORNAMENTAL GRASS
	Mulo	CH BED LINE
	LILY TURF (Lb)	BLUE CHIP JUNIPER (Jb)
NOTES:		

LANDSCAPE SYMBOLS ON THE PLAN VARY AND MAY DEVIATE FROM THE LANDSCAPE LEGEND SYMBOLS SHOWN ABOVE.





	ОНШ	ОН₩	онw	
				UP NO ID #
^		^	-	



 $\mathbf{\nabla}$ 

[	UTILITIES PLAN LEGEND
$\square$	PROPOSED 4" PVC SDR 35 SAN LATERAL @ 2% MIN SLOPE
$\langle 2 \rangle$	PROPOSED CLEAN-OUT (TYP.)
$\overline{3}$	EXISTING EXTERIOR GREASE TRAP
	CONTRACTOR TO CLEAN AND INSPECT THE EXISTING GREASE TRAP. REPAIR OR REPLACE AS NECESSARY.
$\langle 4 \rangle$	CONNECT TO EXIST SANITARY LINE
$\overline{(5)}$	PROPOSED UNDERGROUND PRIMARY ELECTRIC/ TELEPHONE SERVICE
$\langle 6 \rangle$	CONNECT TO EXISTING ELEC/TELE SERVICE
$\langle 7 \rangle$	PROPOSED 2" TYPE K COPPER DOMESTIC LINE
$\langle 8 \rangle$	PROPOSED 6" DIP FIRE LINE
<u>(9</u> )	PROPOSED 3/4" CW TO DUMPSTER POST HYDRANT
	PROPOSED GAS LINE
	PROPOSED GAS METER
<u>(12</u> )	CONNECT TO EXISTING GAS LINE
$\langle 13 \rangle$	PROPOSED 4" SCH 40 PVC CONDUIT
<u>(14</u> )	PROP. 4" PVC SDR 35 KITCHEN WASTE LINE @ 2% MIN
(15)	PROP. 4" PVC SDR 35 RESTROOM WASTE LINE@ 2% MIN
(16)	PROPOSED 8" HDPE @ 1.0 % ROOF DRAIN (TYP.)
(17)	PROPOSED 3" VENT LINE
<b>(18</b> )	PROPOSED WO-WAY CLEAN-OUT (TYP.)
<b>(19</b> )	CONNECT TO EXISTING WATER LATERAL TO BUILDING
20	EXISTING TRANSFORMER RELOCATION
$\langle 2   \rangle$	PROPOSED ELECTRIC PANEL
22	THREE (3) 4" PVC CONDUITS WITH PULL STRING FOR SECONDARY ELECTRIC SERVICE.
	TWO (2) 4" PVC CONDUITS WITH PULL STRINGS FOR TELEPHONE SERVICE.
	ONE (I) 3" PVC CONDUIT WITH PULL STRING FOR CABLE SERVICE.
<u>〈23</u> 〉	PROPOSED CANOPY GAS LINE
$\langle 24 \rangle$	PROPOSED CANOPY ELECTRIC LINE
25	RE-CONNECT EXISTING STORM PIPE
$\langle 26 \rangle$	PROPOSED 4" PVC CANOPY DRAIN @ 1% (TYP.)
$\overline{27}$	EXISTING UTILITY POLE TO BE COORDINATED WITH
(28)	ELECTRIC COMPANY EXISTING LIGHT POLE RELOCATION
	ABANDONED GAS LINE TO BE FIELD VERIFIED BY CONTRACTOR
	CONNECT STORM PIPE TO EXISTING STORM STRUCTURE
	MODIFY UNDERGROUND BASIN OUTLET STRUCTURE
	CONTRACTOR TO CLEAN AND INSPECT THE EXISTING UNDERGROUND BASIN AND PROVIDE A REPORT TO THE ENGINEER OF RECORD

EXISTING	LEGEND	PROPOSED
$\frac{TL}{PI} = \frac{13+00}{13+00}$	$\frac{2}{2}$ TRAVERSE LINE, CENTER LINE O OR BASELINE (LABEL AS SUCH)	· → · · · · · · · · · · · · · · · · · · ·
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
BACK	CURB	FACE BACK
	DEPRESSED CURB	
	- SIDEWALK	<u> </u>
-xx	- FENCES	x
······	TREELINE	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
<u> </u>	ROADWAY SIGNS	<b>— — — —</b>
• • • -	• WETLAND LINE	<b>- · · - · · -</b>
	MUNICIPAL BOUNDARY LINE	
	'B' INLET	
	'E' INLET	
$\bigcirc$	STORM MANHOLE	
S	SANITARY MANHOLE	S
	FLARED END SECTION	
	HEADWALL	
Д.	HYDRANT	<b>Х</b>
¢	POLE MOUNTED LIGHT	e
— CATV ———	- CABLE TV CONDUIT	CATV
W	- WATER MAIN	w
G	- GAS MAIN	G
<i>T</i>	- TELEPHONE CONDUIT	т
—E	ELECTRIC CONDUIT	E
	SANITARY PIPE	
=====	STORM PIPE	
Kne	ow what' <b>below.</b> Callbefore you d	

1-800-272-1000

