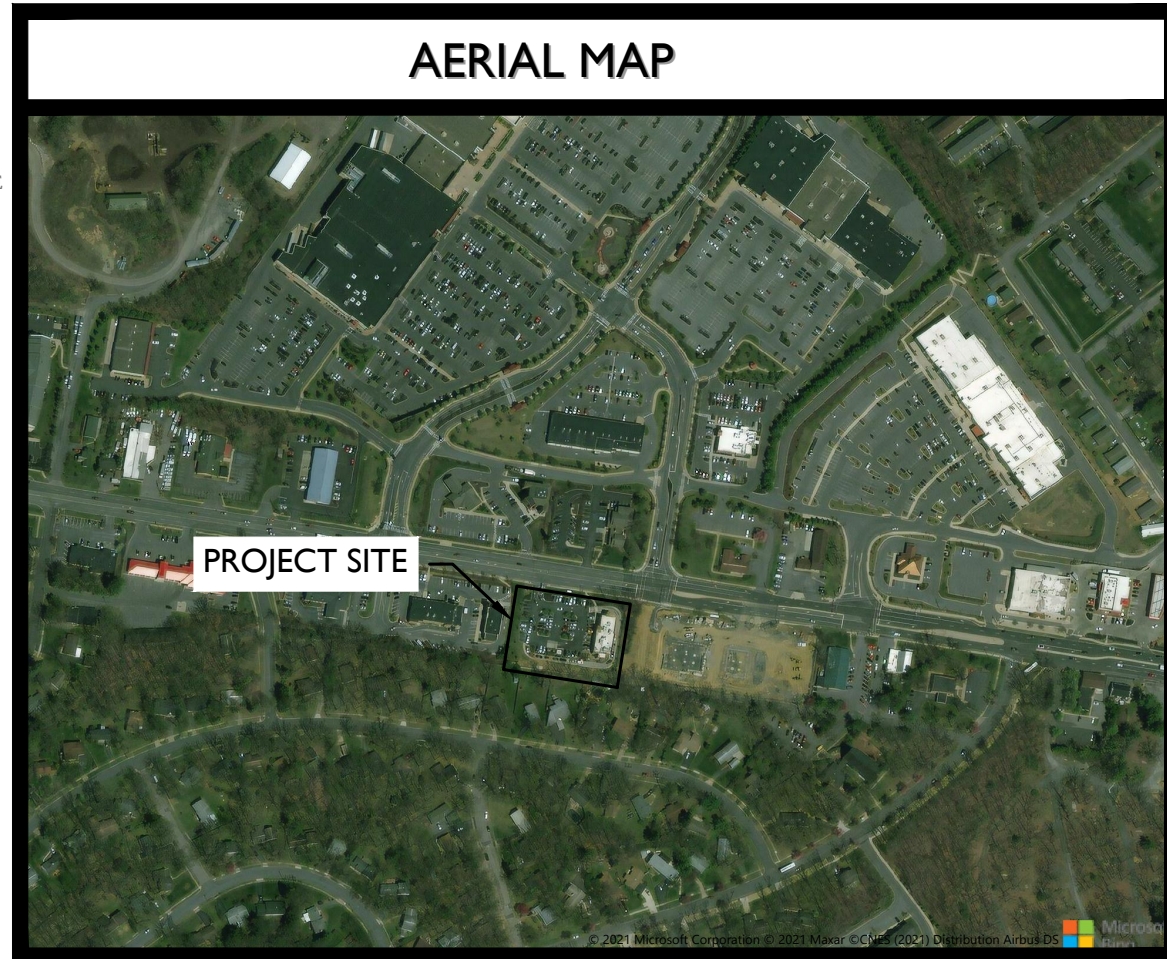
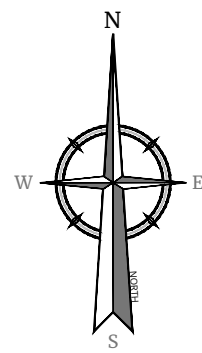


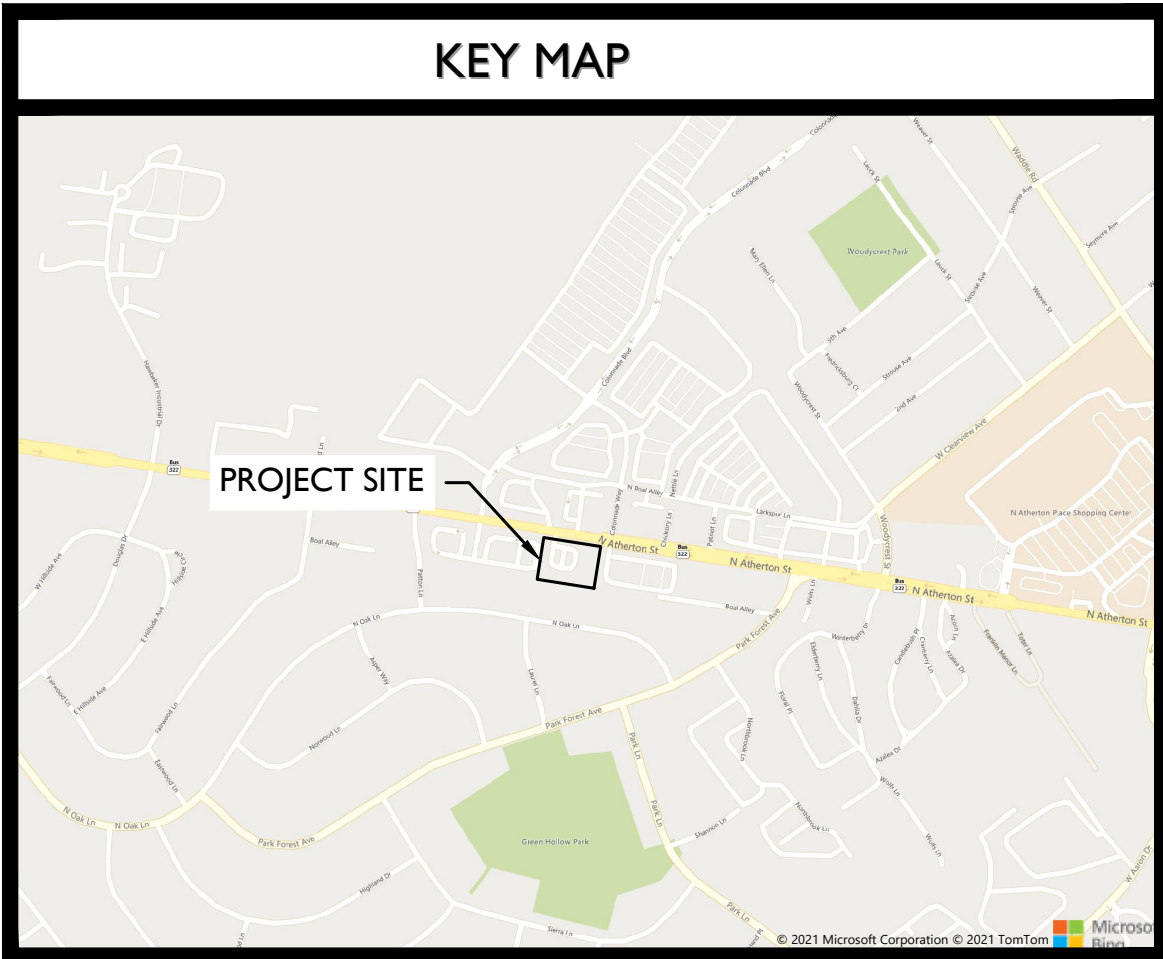
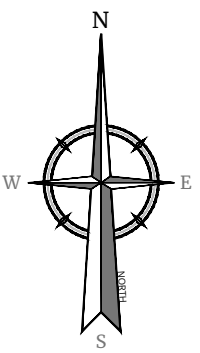
USE AND PRELIMINARY & FINAL MAJOR SITE PLAN  
FOR

**Chick-fil-A®**

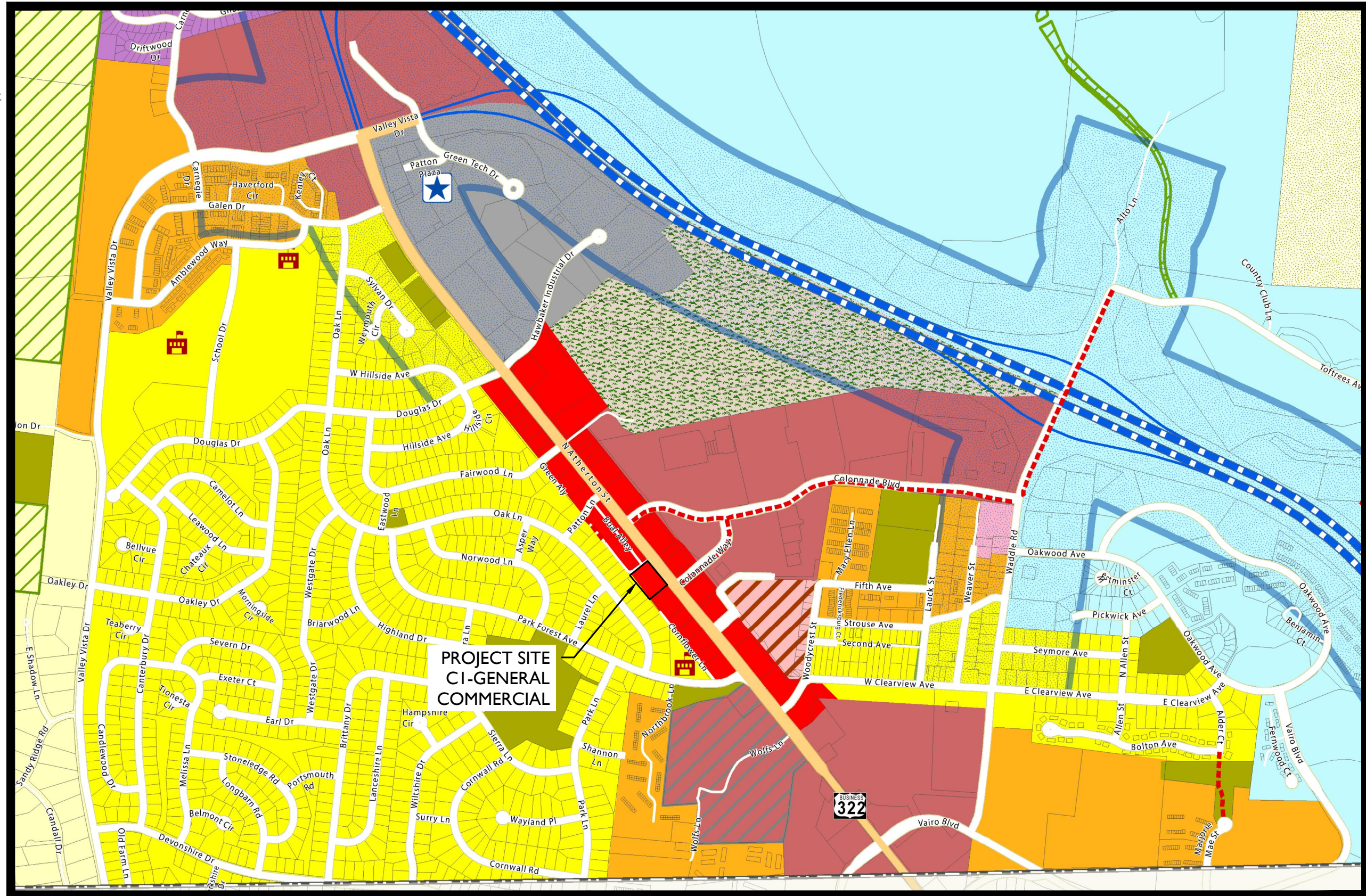
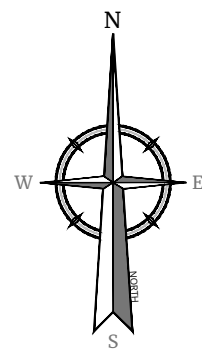
TAX MAP NO.  
**TAX PARCEL 18-010-282**  
**PATTON TOWNSHIP**  
**CENTRE COUNTY, PENNSYLVANIA**



SCALE: 1"=500' (APPROXIMATE)



SCALE: 1"=1,000' (APPROXIMATE)



**KEY & ZONING MAP**

**INDEX OF SHEETS**

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C 1	SURVEY PLAN I OF I
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C 4	CONSTRUCTION DETAIL SHEET
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C 8	SOIL EROSION PLAN
C 9	SOIL EROSION NOTES AND DETAILS
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C 11	PCSM PLAN
C 12	PCSM NOTES AND DETAILS
L 1	LANDSCAPE PLAN
PS 1	UTILITY SITE PLAN

**GENERAL INFORMATION**

- THE SUBJECT PROPERTY IS KNOWN AS 18-010-282 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF PATTON, CENTRE COUNTY, PENNSYLVANIA.
- THE PROPERTY IS LOCATED IN THE C1 - GENERAL COMMERCIAL ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 66,006 SF, 1.52 ACRES.  
  
OWNER: PARK FOREST VILLAS II  
1938 N. ATHERTON STREET  
STATE COLLEGE, PA 16803  
  
APPLICANT: CHICK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349  
404-765-8000
- THE SUBJECT PROPERTY IS PRESENTLY AN OPERATING CHICK-FIL-A FAST SERVE RESTAURANT. THE APPLICANT PROPOSES TO ADD BUILDING ADDITION, IMPLEMENT DUAL DRIVE-THRU LANES, ORDER AND MEAL DELIVERY CANOPIES, AND STORMWATER MANAGEMENT IMPROVEMENT.

ZONE DATA: C1 - GENERAL COMMERCIAL

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	1.52 AC	1.52 AC
MINIMUM LOT WIDTH	150 FT	299.7 FT	299.7 FT
PRINCIPAL BUILDING			
MINIMUM FRONT YARD	50 FT	50.0 FT	50.0 FT
MINIMUM REAR YARD	50 FT	53.6 FT	54.5 FT
MINIMUM SIDE YARD	15 FT	36.8 FT	36.8 FT
MAXIMUM BUILDING HEIGHT	50 FT	< 50 FT	< 50 FT
ACCESSORY BUILDING			
MINIMUM FRONT YARD	50 FT	N/A	67.8 FT
MINIMUM REAR YARD	50 FT	N/A	22.4 FT (V)
MINIMUM SIDE YARD	15 FT	N/A	8.9 FT (V)
MAXIMUM BUILDING HEIGHT	50 FT	N/A	< 50 FT
MAXIMUM BUILDING COVERAGE	30 %	7.0 %	7.3 %
MAXIMUM IMPERVIOUS COVERAGE	75 %	56.2 %	68.9 %
PARKING			
USE: 1 SPACE/50 SF	28 SPACE / 1,400 SF	56 SPACE	45 SPACE
LOADING: 1 SPACE/5,000 SF	1 SPACE / 4,812 SF	1	1
ADA:		3	3
TOTAL		59	48
	AREA (SF)	% OF COVER	
EXISTING BUILDING FOOTPRINT	4,594 SF	7.0 %	
EXISTING PAVEMENT	23,419 SF	35.5 %	
EXISTING SIDEWALK/CONCRETE	9,056 SF	13.7 %	
TOTAL EXISTING IMPERVIOUS SURFACE	37,069 SF	56.2 %	
PROPOSED BUILDING FOOTPRINT	4,812 SF	7.3 %	
PROPOSED PAVEMENT	23,072 SF	35.0 %	
PROPOSED SIDEWALK/CONCRETE	15,994 SF	24.2 %	
TOTAL PROPOSED IMPERVIOUS SURFACE	43,878 SF	66.5 %	

(E) = PRE-EXISTING NON-CONFORMING CONDITION  
(V) = VARIANCE REQUIRED

- THE FOLLOWING VARIANCES AND/OR DESIGN WAIVERS MAY BE REQUIRED FROM THE FOLLOWING ORDINANCE SECTIONS IF DETERMINED BY THE PLANNING/ZONING BOARD:

VARIANCE  
175-16.D.(1)(b) SIDE YARD SETBACK OF 15 FT FOR ACCESSORY STRUCTURE  
175-16.D.(1)(c) REAR YARD SETBACK OF 30 FT FOR ACCESSORY STRUCTURE  
175-16.G.(1)(d) SIDE AND REAR YARD SCREENING  
175-44.A PLANTED VISUAL BARRIER OR LANDSCAPE SCREEN ABUTTING RESIDENTIALLY ZONED DISTRICT

- BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTANSPS LAND TITLE SURVEY", SHEET 1 OF 1, DATED MARCH 25, 2021, PREPARED BY ROBERT W. TELSCHOW, JR., P.L.S. LIC. NO. SU075641 OF PA, OF COLLIER ENGINEERING & DESIGN.

- THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTANSPS LAND TITLE SURVEY", DATED MARCH 25, 2021, PREPARED BY ROBERT W. TELSCHOW, JR., P.L.S. LIC. NO. SU075641 OF PA OF COLLIER ENGINEERING & DESIGN.

- THE HORIZONTAL DATUM IS RELATIVE TO THE PENNSYLVANIA SOUTH STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.

- GEOTECHNICAL INFORMATION AND SOIL TEST PIT LOCATIONS SHOWN HEREON ARE AS PRESENTED IN A REPORT ENTITLED "CHICK-FIL-A RESTAURANT #2603 - PROPOSED SITE IMPROVEMENTS", DATED: APRIL 30, 2021, PREPARED BY COLLIER ENGINEERING & DESIGN.

- THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/VARIANCE REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.

- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.

- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERE TO.

- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.

- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.

- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY MARKOUT.

**SITE NOTES**

- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- CURB RAMPS ARE TO BE CONSTRUCTED FLUSH WITH THE FINISHED PAVEMENT SURFACE. ACCESSIBLE CURB RAMPS INSTALLED WITHIN THE PUBLIC RIGHT OF WAY ARE TO HAVE DETECTABLE WARNING SURFACES COMPLIANT WITH FEDERAL ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT OF WAY.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN WITHIN OUTSIDE SCREENED

- TRASH ENCLOSURES AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
- THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:  
  
A. PENNSYLVANIA DEPARTMENT OF TRANSPORTATION "SPECIFICATIONS PUBLICATION 408", 2016; AS SUPPLEMENTED.  
B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.  
C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.  
D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

**UTILITY NOTES**

- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOS) SUPERSEAL OR EQUIVALENT. ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE IN REAR OF THE PROPERTY, OWNED AND OPERATED BY THE PATTON TOWNSHIP WATER DEPARTMENT. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. ACCORDING TO THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, AMERICAN WATERWORKS ASSOCIATION STANDARDS. PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING OR HIGH DENSITY POLYETHYLENE (HDPE) SDR-11 PIPE AS NOTED ON THE PLANS. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY (FORCE MAIN) CONNECTION TO EXISTING SEWER MAIN ON N. ATHERTON STREET, OWNED AND OPERATED BY THE PATTON TOWNSHIP SEWER DEPARTMENT. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. ACCORDING TO PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT. IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS), WITH WATERTIGHT JOINTS THAT IS A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWER SEAL MODEL #3501 OR EQUIVALENT AT DIPVC JOINTS.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

**WETLAND NOTES:**

- THERE ARE NO WETLANDS WITHIN THE PROPOSED DEVELOPMENT AREA.

**FLOOD HAZARD NOTES:**

BY GRAPHICAL PRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON FLOOD INSURANCE MAPS, COMMUNITY PANEL NO. 420266-0617-F WHICH HAS AN EFFECTIVE DATE OF MAY 4, 2009 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE.

**ADA INSTRUCTIONS TO CONTRACTOR:**

- CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:  
  
(NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN):  
  
A. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.  
  
B. CURB RAMPS- SLOPES SHALL NOT EXCEED 1:12 (8.3%).  
  
C. LANDINGS- SHALL BE PROVIDED AT EACH END OF RAMPS. SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.  
  
D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.  
  
E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.  
  
F. DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 48 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).

(NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN):

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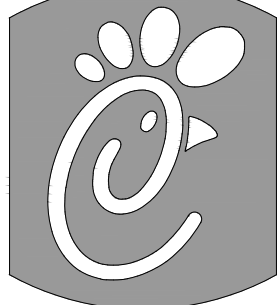
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- E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.

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- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.



**Chick-fil-A®**

5200 Buffington Road  
Atlanta, Georgia  
30349-2998  
Telephone 404-765-8000

REV	DATE	DESCRIPTION	TL	DRAWN BY
1	1/7/2022	REVISED PER UTILITY COORDINATION		

Seal



Justin Ryan Thornton  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE000379  
COLLIERS ENGINEERING & DESIGN, INC.

**Colliers** Engineering  
& Design

Doing Business as **MASER**  
**PTTTSBURGH**  
1501 Renaissance Drive  
Suite 302  
Pittsburgh, PA 15223  
Phone 412.618.5190

STORE #2603  
STATE COLLEGE FSU

PARCEL #: 18-010-282

PATTON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

PRELIMINARY & FINAL  
MAJOR SITE PLAN

TITLE SHEET

DWG EDITION 2.0

- ☐ Preliminary  
☒ 80% Submittal  
☐ For Construction

File No.: 20005724A

Store: 2603

Date: 11/12/21

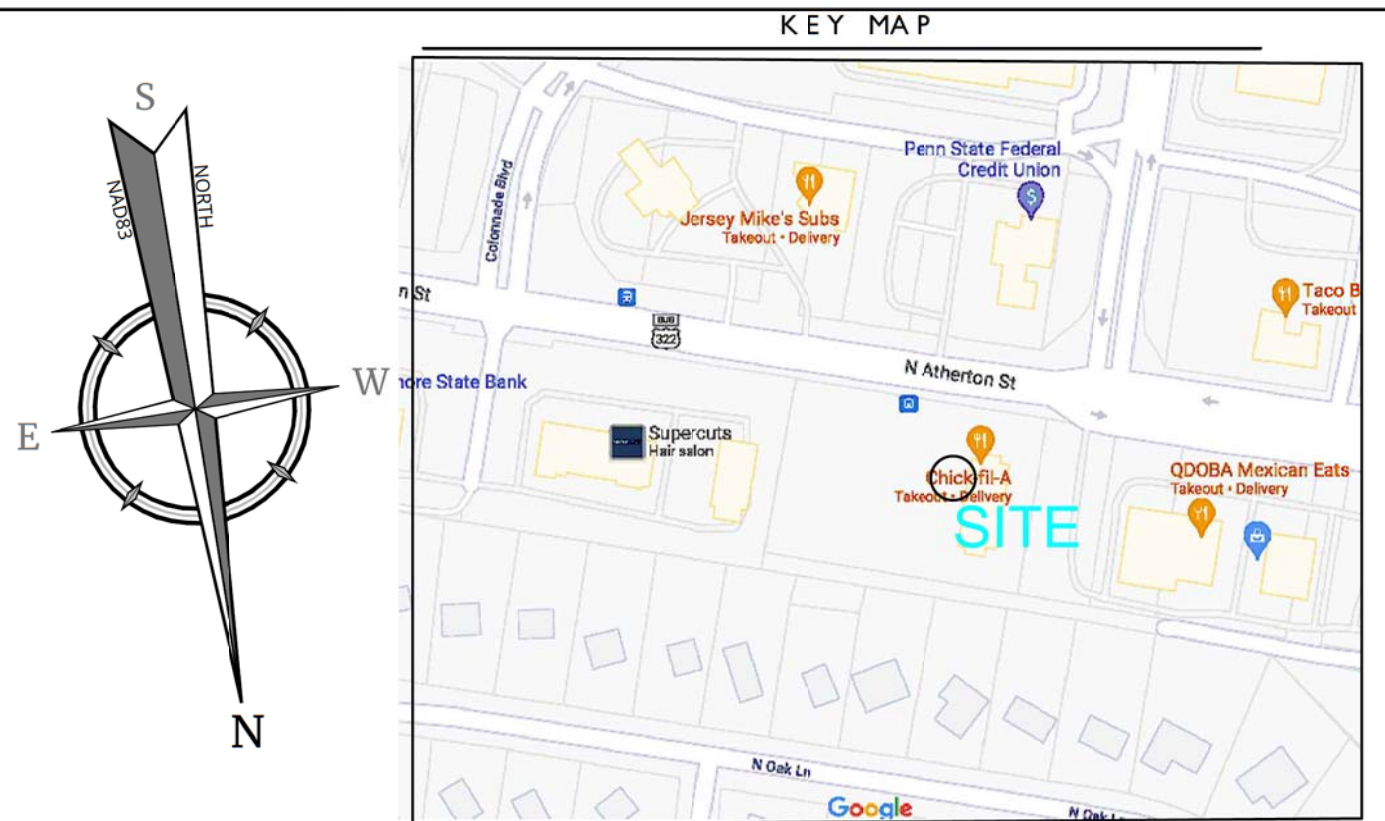
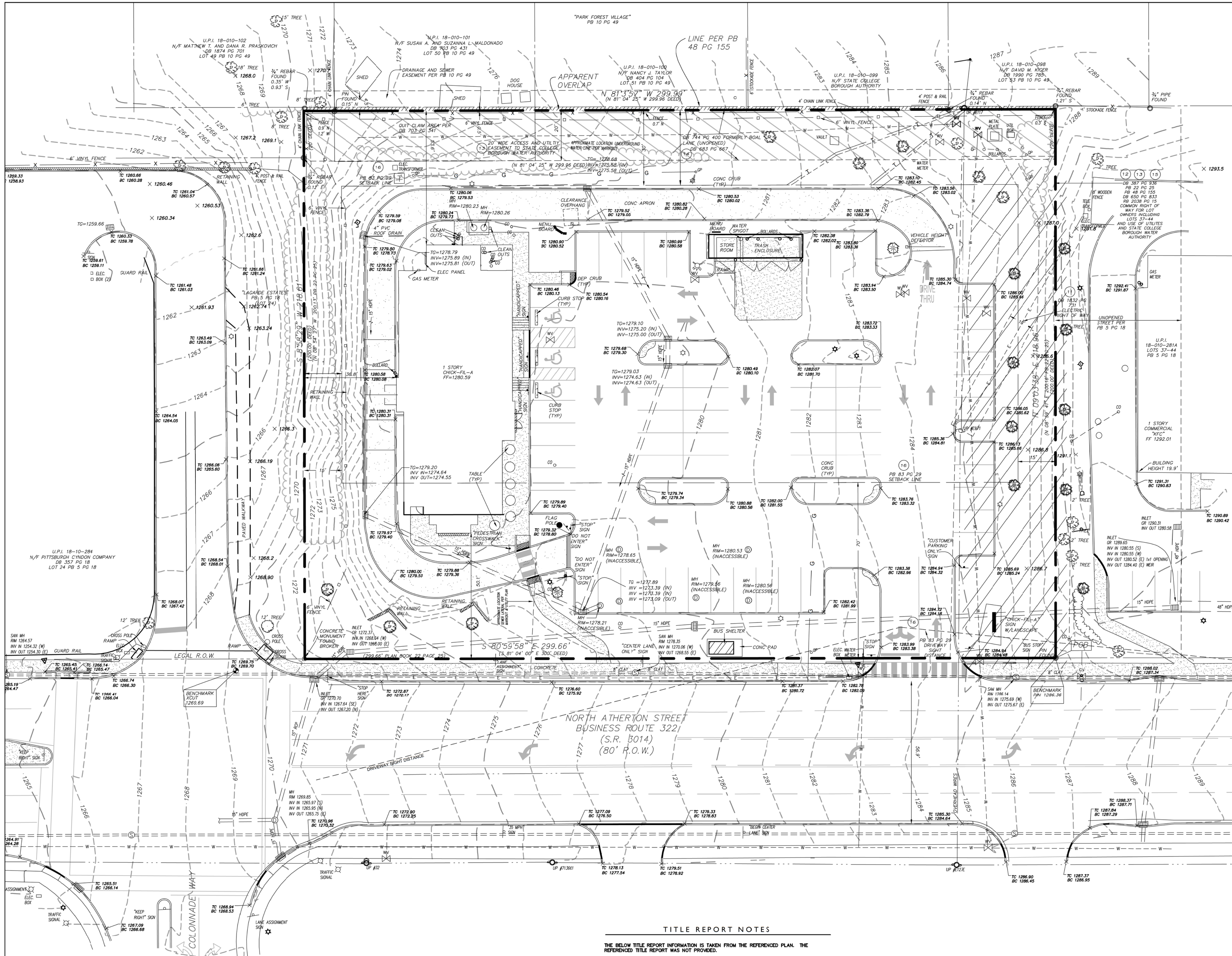
Drawn By: JT

Checked By: JRT

Sheet

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SURVEYOR'S NOTES

- PROPERTY KNOWN AS PARCEL 18-010-282.
- MAP REFLECTS CONDITIONS AS OF: 03-25-21.
- THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON VISIBLE ABOVE GROUND STRUCTURES. ANY UTILITY MAPS PROVIDED BY UTILITY COMPANIES REFERENCED HEREON. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. THE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES FIELD VERIFIED BY THE PROPER UTILITY COMPANIES BEFORE ANY CONSTRUCTION BEGINS.
- PERTINENT DOCUMENTS OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY ARE NOTED HEREON. OTHER DOCUMENTS OF RECORD MAY EXIST THAT WOULD AFFECT THIS PARCEL.
- VERTICAL DATUM = NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)  
HORIZONTAL DATUM = NORTH AMERICAN DATUM OF 1983 (NAD 83) (PENNSYLVANIA SOUTH STATE PLANE COORDINATE SYSTEM)
- BY GRADING PLOTTING ONLY THIS PROPERTY LIES WITHIN FLOOD ZONE X. AREAS DETERMINED TO BE SUBJECT TO THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP 420266 0617 F, BEARING AN EFFECTIVE DATE OF MAY 4, 2009.
- THE EXISTENCE OR NONEXISTENCE OF WETLANDS, TIDELANDS OR OPEN WATERS THAT MAY BE REGULATED BY THE STATE OF PENNSYLVANIA AND/OR THE GOVERNMENT OF THE UNITED STATES IS NOT A PART OF THIS SURVEY.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESS OR IMPLIED.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- THIS PLAN IS MADE TO PROVIDE INFORMATION TO THE TITLE INSURER SO THAT IT MAY INSURE TITLE TO THE LANDS SHOWN HEREON AND FOR THE MORTGAGE HOLDER NAMED. THIS DECLARATION IS GIVEN SOLELY TO THE NAMED PARTIES FOR THIS TRANSACTION ONLY AND IS NOT TRANSFERABLE, EXCEPT AS PROVIDED HEREIN.
- THE OFFSETS SHOWN ON THIS PLAN SHALL NOT BE USED AS THE BASIS FOR THE CONSTRUCTION OF FENCES OR ANY OTHER PERMANENT STRUCTURES.
- CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN AN ORIGINAL INK SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.
- NO EVIDENCE OF EARTH MOVING WORK, BUILDING DEMOLITION WAS OBSERVED. (TABLE A ITEM 16)
- NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINE, RECENT STREET AND SIDEWALK IMPROVEMENTS WERE OBSERVED AT TIME OF SURVEY. (TABLE A ITEM 17)
- NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WAS OBSERVED. (TABLE A ITEM 20)
- ALL PLOTTABLE MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR ARE SHOWN ON THE SURVEY.
- PROPERTY CORNERS TO BE SET AT COMPLETION OF SITE CONSTRUCTION.
- DO NOT USE DISTANCES TO FOUNDATIONS TO ESTABLISH PROPERTY LINES.

SITE ADDRESS: 1938 N. ATHERTON ST.  
STATE COLLEGE, PA 16803

CONTACTS

<b>FIRE MARSHAL</b> Agency: CENTRAL REGION COUNCIL OF GOVERNMENTS, CODE AGENCY Address: 2843 GATEWAY DRIVE, SUITE #2 STATE COLLEGE, PA 16801 Contact: MIKE FAUSTINA, CENTRAL REGION CODE AGENCY, CIVIL ENGINEER, FIRE & LIFE SAFETY Phone: (814) 272-1443 Email: MFC@CROC.NET	<b>PLUMBING</b> Agency: CENTRAL REGION COUNCIL OF GOVERNMENTS, CODE AGENCY Address: 2843 GATEWAY DRIVE, SUITE #2 STATE COLLEGE, PA 16801 Contact: ROB WAGNER Agency: CIVIL ENGINEER, FIRE & LIFE SAFETY Phone: (814) 231-3556 Email: RBW@CROC.NET
<b>HEALTH DEPARTMENT</b> Agency: BOROUGH OF STATE COLLEGE Address: DIVISION OF HEALTH AND FOOD SAFETY Contact: BRIAN O'DONNELL, HEALTH OFFICER Phone: (814) 234-7197 Email: HEALTHDEPT@STATECOLLEGEPA.US	<b>TRAFFIC ENGINEERING</b> Agency: PENNDOT Address: 1624 DAVIS STREET EXTENSION, CLEARFIELD, PA 16830 Phone: (814) 553-7250
<b>PLANNING DEPARTMENT</b> Agency: PATTON TOWNSHIP PLANNING COMMISSION Address: 150 PATTON PLAZA, STATE COLLEGE, PA 16801 Contact: KEN BODER Phone: (814) 234-6271 Email: KSBODER@TWP.PATTON.PA.US	<b>BUILDING DEPARTMENT</b> Agency: CENTRAL REGION COUNCIL OF GOVERNMENTS, CODE AGENCY Address: 2843 GATEWAY DRIVE, SUITE #2 STATE COLLEGE, PA 16801 Contact: ROB WAGNER Phone: (814) 231-3556 Email: RBW@CROC.NET

SITE UTILITIES

<b>SANITARY SEWER</b> Agency: UNIVERSITY AREA JOINT AUTHORITY Address: 1575 SPRING VALLEY ROAD, STATE COLLEGE, PA 16801 Contact: MARK HARTER Phone: (814) 238-6361 Email: MHARTER@UAJA.ORG	<b>WATER</b> Agency: SCBWA Address: 1301 W. BRANCH ROAD, STATE COLLEGE, PA 16801 Contact: STEVE ENGINEERING DEPARTMENT Phone: (814) 238-6766 Email: STEVE@SCBWA.ORG
---	--

STORM DRAINAGE

<b>STORM DRAINAGE</b> Agency: STATE COLLEGE BOROUGH-PUBLIC WORKS Address: 414 HOLMES STREET SUITE 4 Belleville, PA 16823-1488 Contact: RYAN HEDLEY Phone: (814) 234-7140 Fax: (814) 234-7197	<b>EROSION CONTROL</b> Agency: CENTRE COUNTY CONSERVATION DISTRICT Address: WILLOWBANK OFFICE BUILDING 414 HOLMES STREET SUITE 4 Belleville, PA 16823-1488 Contact: JAMES COSLO Phone: (814) 365-8817 Email: JRCOSLO@CENTRECOUNTYPA.GOV
--	--

SERVICE UTILITIES

<b>GAS UTILITY</b> Agency: COLUMBIA GAS OF PENNSYLVANIA Address: ENGINEERING DEPARTMENT Phone: 1-888-460-4332	<b>ELECTRIC</b> Agency: WEST PENN POWER Address: STATE COLLEGE SERVICE CENTER Contact: JAMES REBEL Phone: (814) 262-3333 Email: JREBEL@PENNPOWERCORP.COM
--	---

TELEPHONE/CABLE

Agency: VERIZON Address: 37 WEST 17TH STREET, WYOMING, PA 16844 Contact: JOSEPH SCHUCH JR. Phone: (732) 751-6162 Fax: (732) 751-6912 Email: JOSEPH.SCHUCH.JR@VERIZON.COM
---

MAP REFERENCE

- PLAN ENTITLED "STATE COLLEGE FSU #2603, PARCEL 18-010-282, TOWNSHIP OF PATTON, CENTRE COUNTY, COMMONWEALTH OF PENNSYLVANIA, ALTA/ACSM LAND TITLE SURVEY", PREPARED BY KZA ENGINEERING, DATED 5/13/09, REVISED THROUGH DECEMBER 14, 2010.

File No.: 20005724A

Store: 02603

Date: 3/25/2021

Drawn By: AR

Checked By: JIP

Sheet

1 OF 1



5200 Buffington Road  
Atlanta, Georgia  
30349-2998  
Telephone 404-765-8000

DRAWN BY

DATE

REV

DESCRIPTION

Seal

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED, WERE MADE IN ACCORDANCE WITH THE 2001 MINIMUM STANDARD DETAILED REQUIREMENTS FOR ALTA/NSPS ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(B), 7(D), 7(D)(1), 8, 9, 11(B), 13, 16, 17, 19, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 03-25-21.

Robert W. Telschow, Jr.

PENNSYLVANIA REGISTERED PROFESSIONAL LAND SURVEYOR

License Number: SU075641

5/13/2021

COLUMBIA ENGINEERING & DESIGN, INC.

Colliers Engineering & Design

Doing Business as MASER

STORE 02603

PARCEL ID # 18-010-282

PATTON TOWNSHIP

CENTRE COUNTY

PENNSYLVANIA

ALTA/NSPS LAND TITLE SURVEY

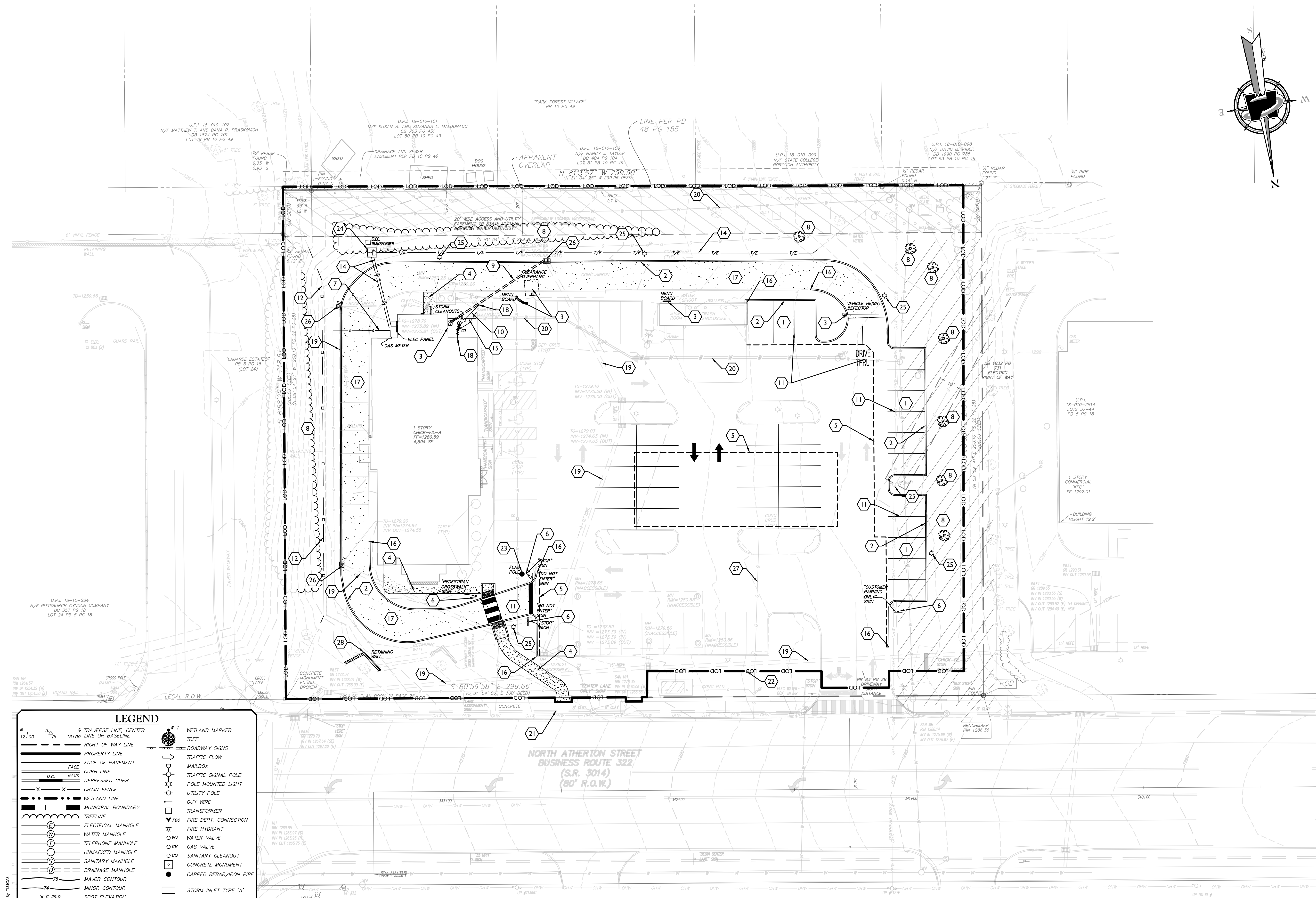
DWG EDITION 1

Preliminary

80% Submittal

For Construction





DEMOLITION LEGEND	
1	REMOVE EXISTING PAVEMENT AS NECESSARY
2	REMOVE EXISTING CURB AS NECESSARY
3	REMOVE EXISTING STRUCTURE
4	REMOVE EXISTING SIDEWALK
5	LIMIT OF PAVEMENT REMOVAL
6	REMOVE EXISTING SIGNS
7	REMOVE EXISTING GAS SERVICE
8	REMOVE EXISTING TREE
9	REMOVE EXISTING STORM PIPE
10	REMOVE EXISTING SANITARY PIPE
11	REMOVE EXISTING STRIPING (TYP.)
12	REMOVE EXISTING FENCE
13	REMOVE EXISTING STORM STRUCTURE
14	REMOVE EXISTING TELEPHONE/ELECTRIC SERVICE
15	REMOVE EXISTING WATER SERVICE
16	LIMIT OF CURB REMOVAL
17	REMOVE EXISTING CONCRETE PAD
18	LIMIT OF SANITARY SEWER PIPE REMOVAL
19	EXISTING STORMWATER PIPE TO REMAIN
20	EXISTING WATER MAIN TO REMAIN
21	EXISTING SANITARY SEWER MAIN TO REMAIN
22	PROPOSED LIMIT OF DISTURBANCE
23	RELOCATE EXISTING FLAG POLE
24	RELOCATE EXISTING TRANSFORMER PAD
25	RELOCATE EXISTING UTILITY / LIGHT POLE
26	CONVERT C INLET INTO M INLET
27	ABANDONED GAS LINE TO BE FIELD VERIFIED BY CONTRACTOR
28	REMOVE EXISTING RETAINING WALL

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REV	DATE	DESCRIPTION	TL	DRAWN BY
1	1/7/2022			

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Justin Ryan Thornton  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 1608379  
COLLIERS ENGINEERING & DESIGN, INC.

Engineering & Design  
Doing Business as MASER  
PITTSBURGH  
1501 Pennsylvania Drive  
Suite 302  
Pittsburgh, PA 15213  
Phone 412.618.5190

STORE #2603  
STATE COLLEGE FSU  
PARCEL #: 18-010-282

PATTON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

PRELIMINARY & FINAL  
MAJOR SITE PLAN

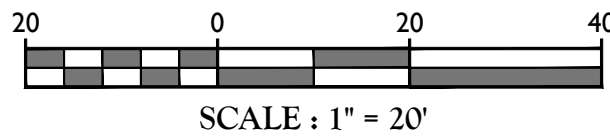
DEMOLITION PLAN  
DWG EDITION 2.0  
☐ Preliminary  
☒ 80% Submittal  
☐ For Construction

File No.: 20005724A  
Store: 2603  
Date: 11/12/21  
Drawn By: JT  
Checked By: JRT  
Sheet

C 1A

2020/05/27 MASEngineering Drawings/Engineering/San Plans/CDMO Proj/C 1A Demolition Plan  
By: TULCAG

Know what below.  
Call before you dig.  
1-800-272-1000










DATE \_\_\_\_\_

MANAGER, DEPARTMENT OF REAL ESTATE

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Call before you dig 

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**1-800-272-1000**

EXISTING	LEGEND	PROPOSED
	TRAVVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	CURB	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	STALL COUNT	
	ADA ACCESSIBLE STALL	
	DEPRESSED CURB AND ADA RAMP	
	DIRECTION OF TRAFFIC FLOW	



C 2

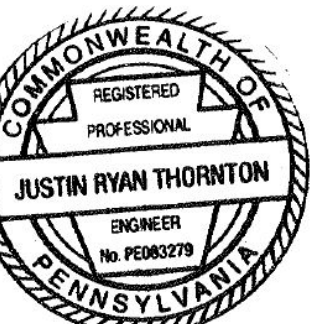




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REV	DATE	DESCRIPTION	REVIEWED PER UTILITY COORDINATION	TL
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Justin Thenter

**Justin Ryan Thornton**  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE083279  
COLLIERS ENGINEERING & DESIGN, INC.



www.colliersengineering.com  
 oing Business as  **MASER**  
 PITTSBURGH  
 1501 Reedsdale Street,  
 Suite 302  
 Pittsburgh, PA, 15233  
 Phone: 412.618.5390

STORE #2603  
STATE COLLEGE FSU

ARCEL #: 18-010-282

ATTON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

## PRELIMINARY & FINAL MAJOR SITE PLAN

## LOADING AND DRAINAGE PLAN

WVG EDITION 2.0

Preliminary  
80% Submittal  
For Construction

e No.: 20005724A

ore : 2603

ate : 11/12/21

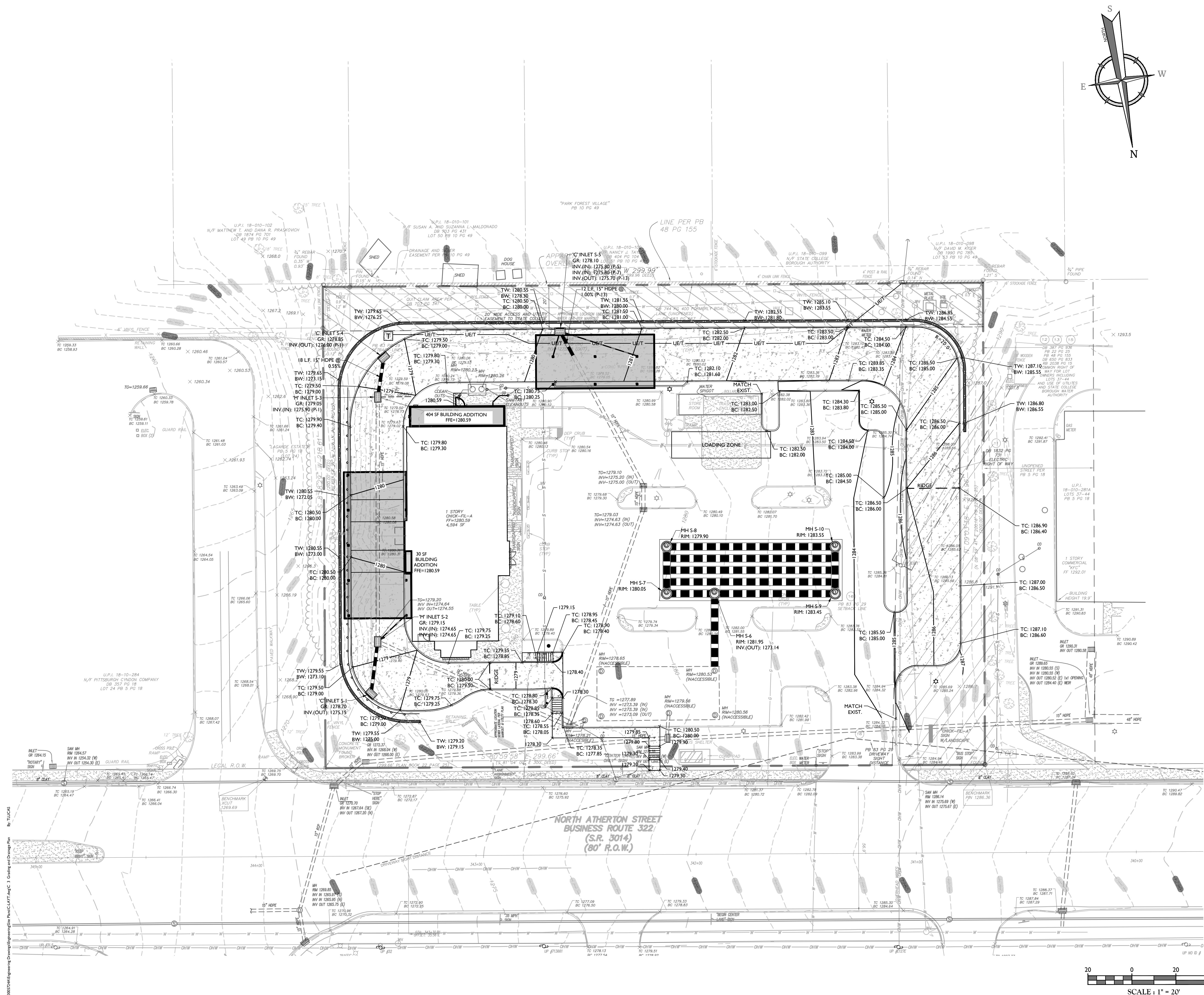
Drawn By: \_\_\_\_\_ IT


Checked By: IBT

Checked By.                     

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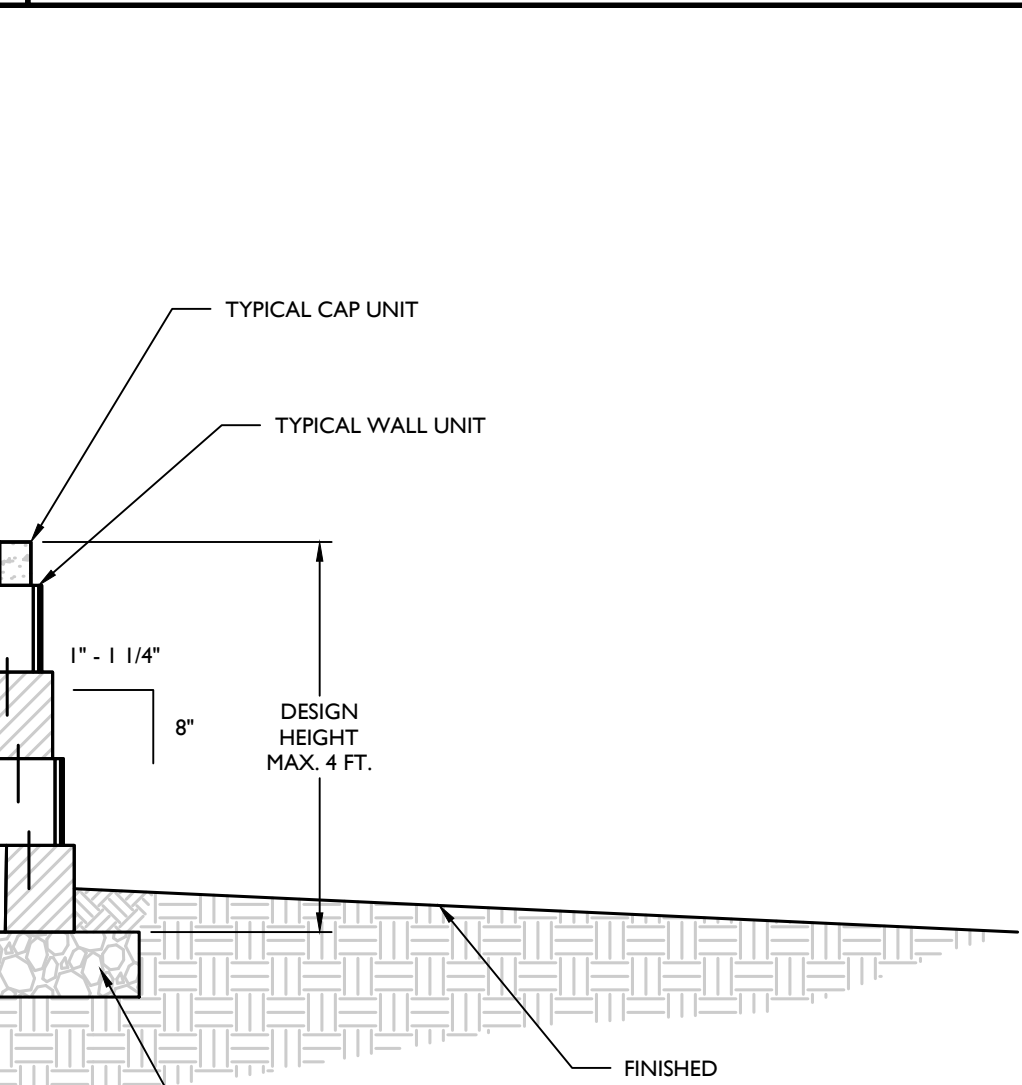
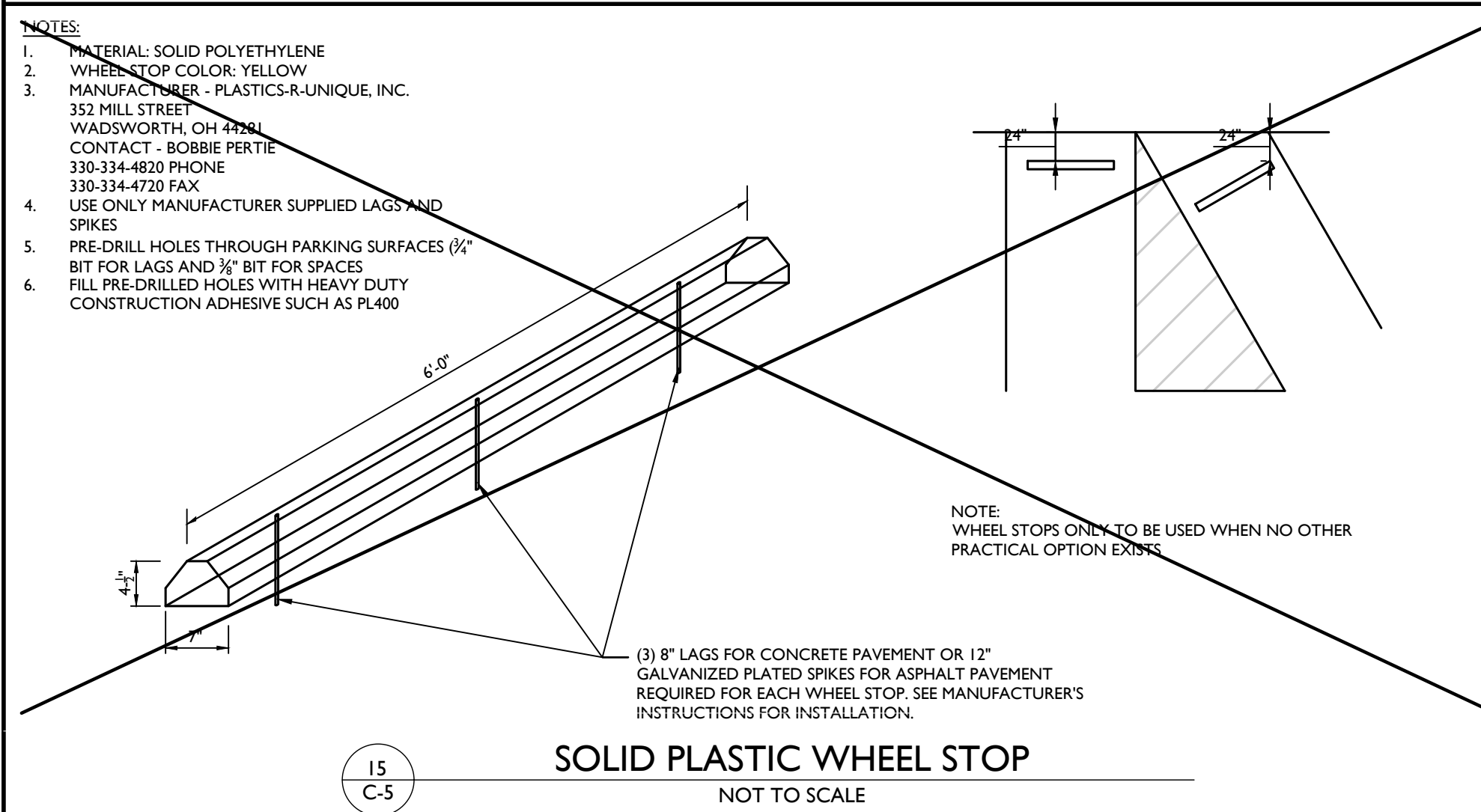
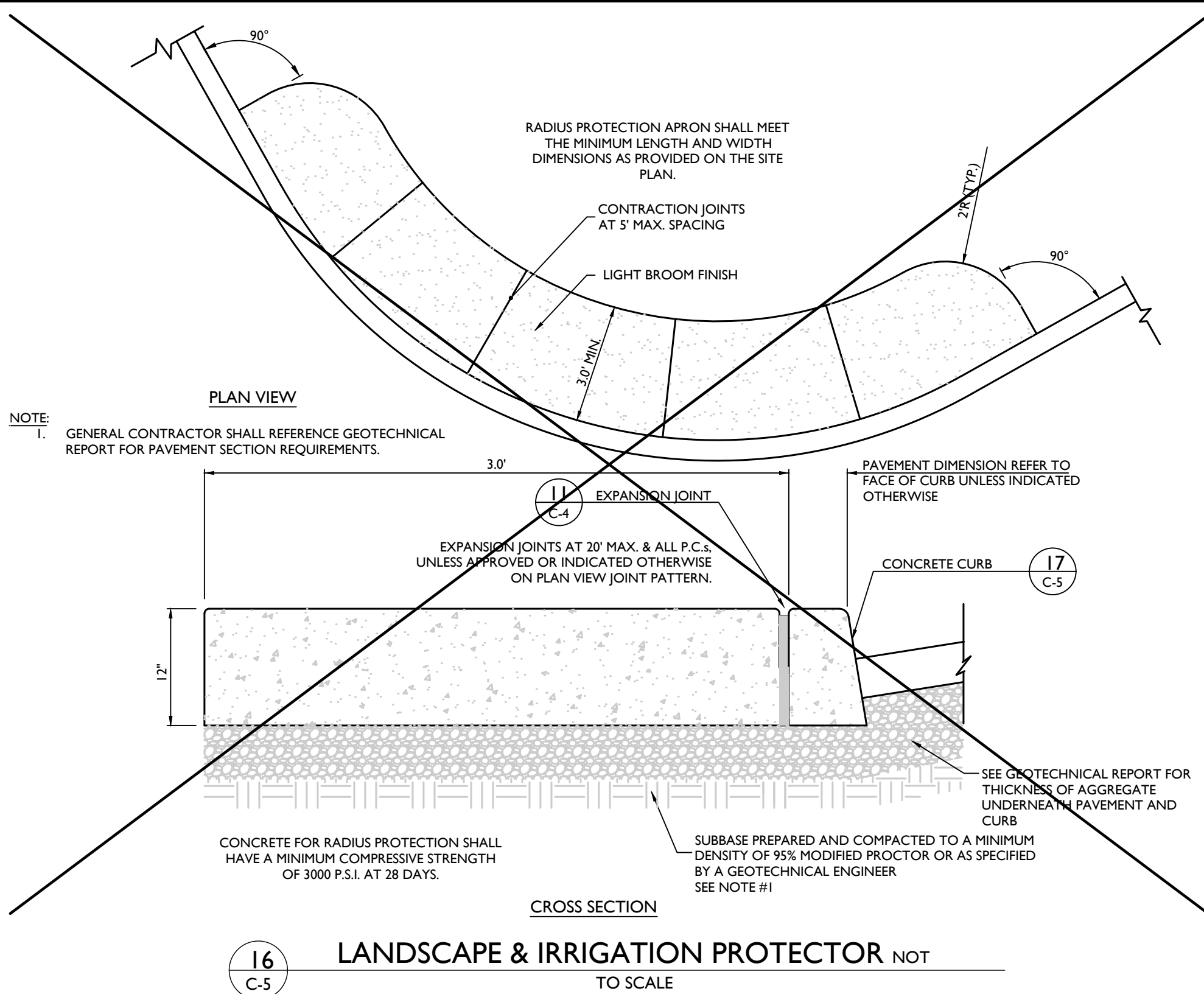


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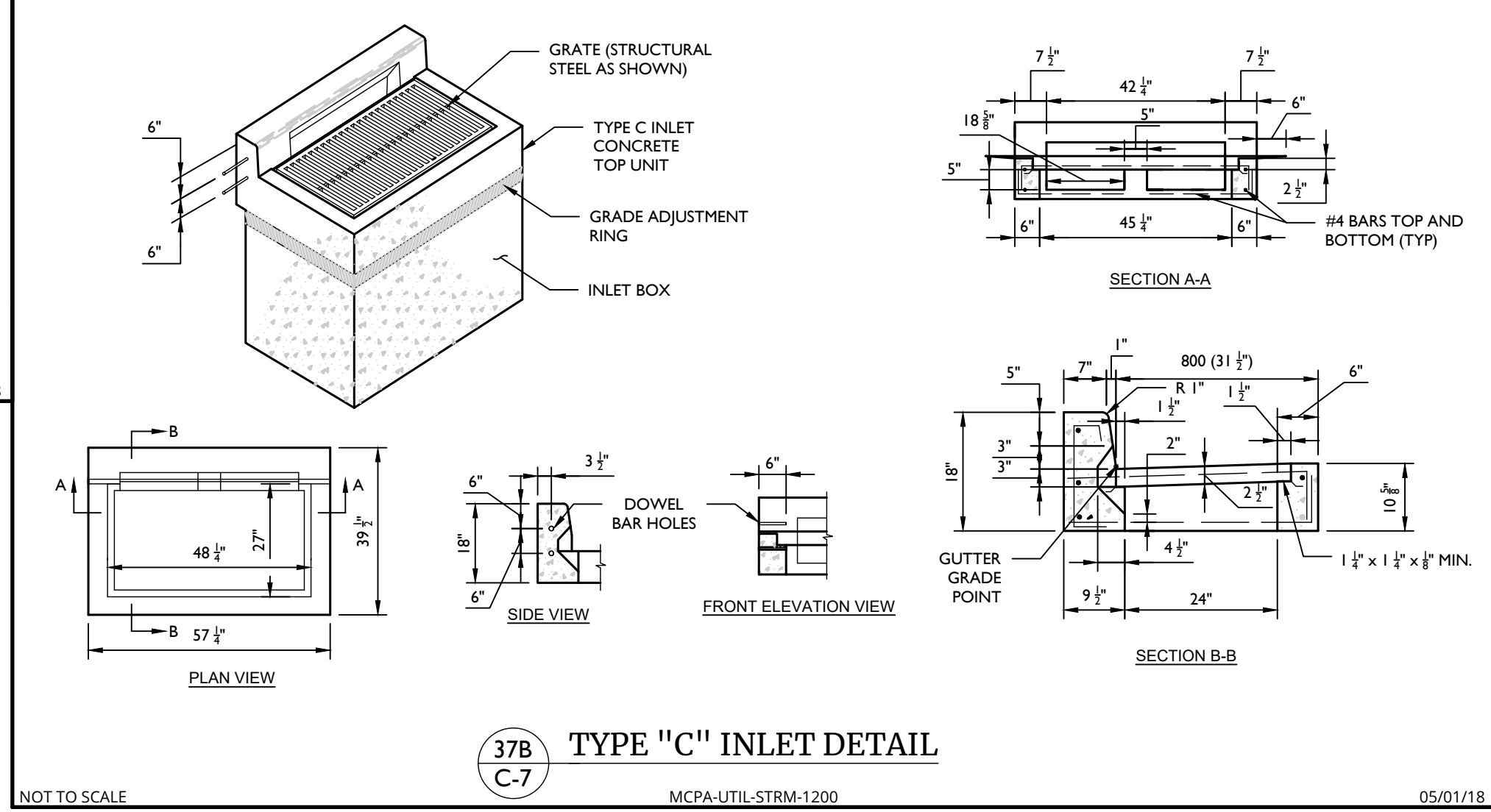
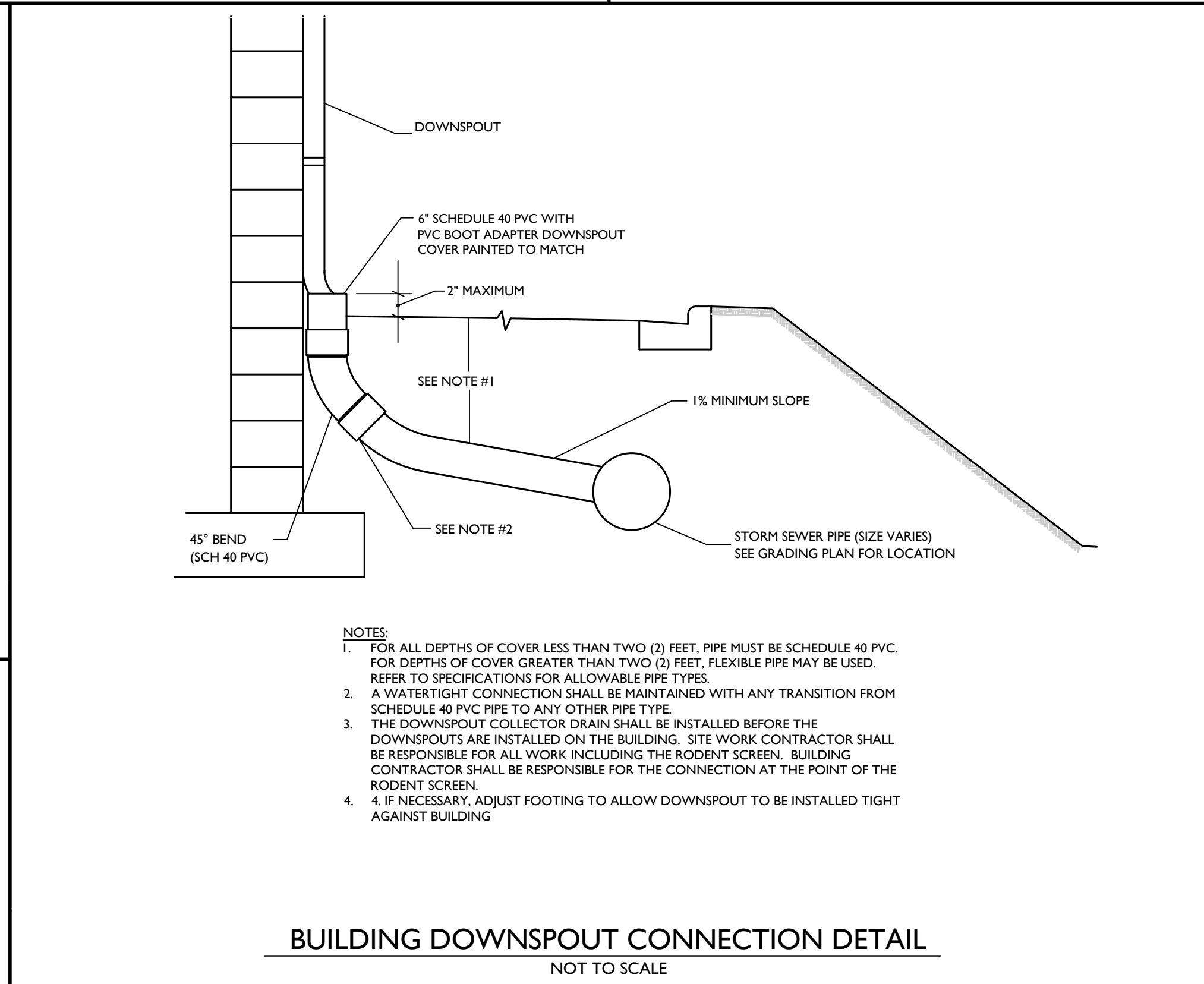
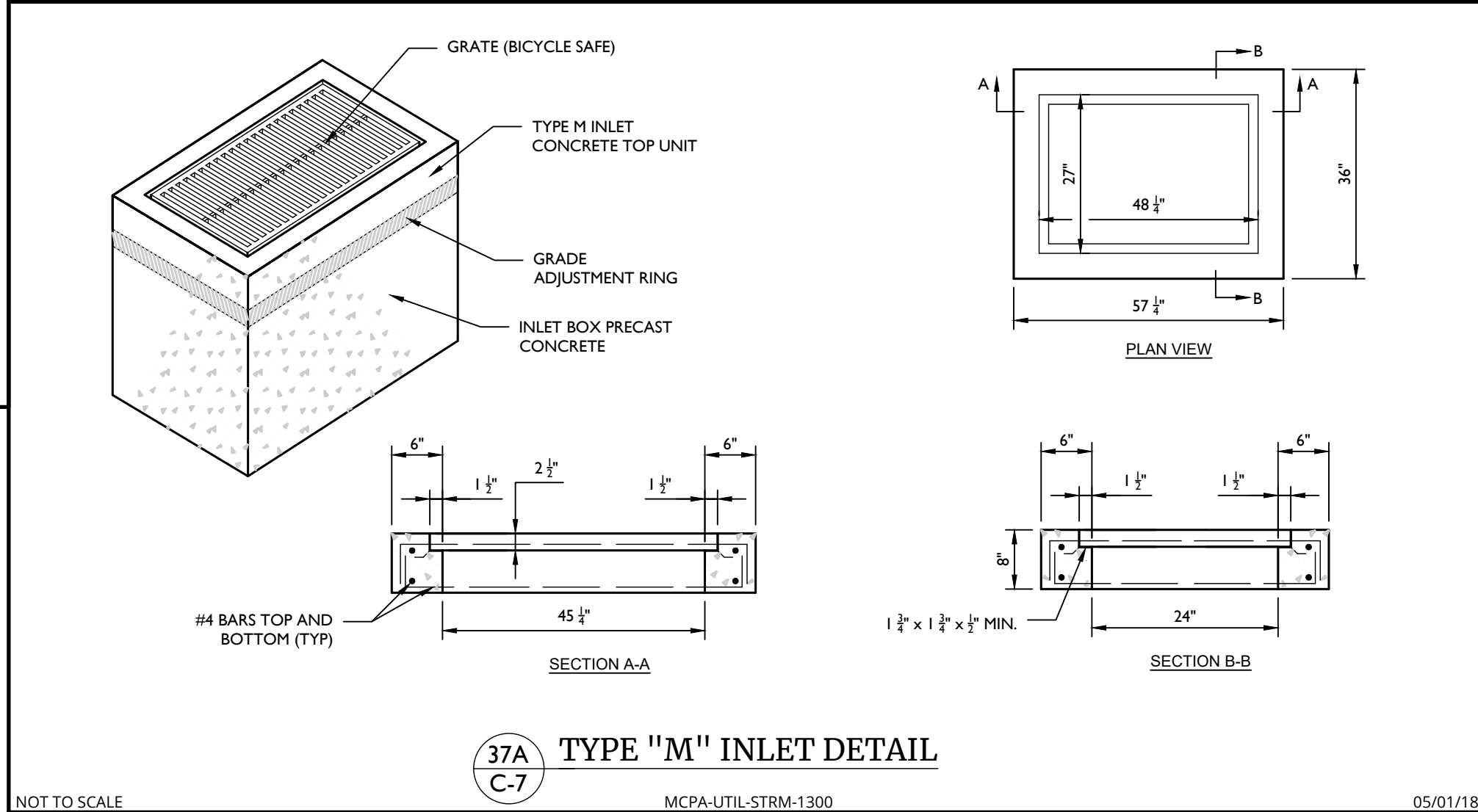
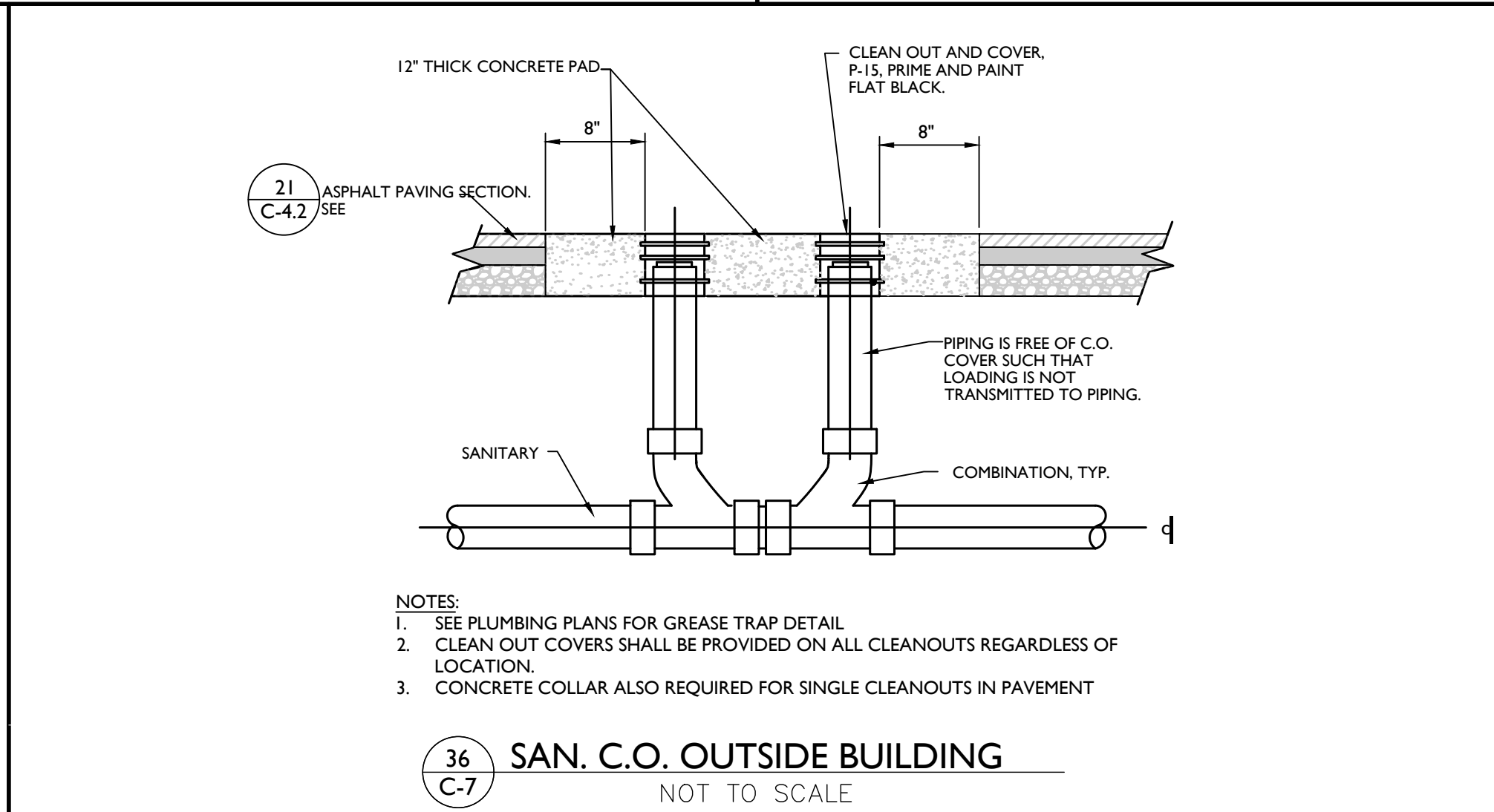
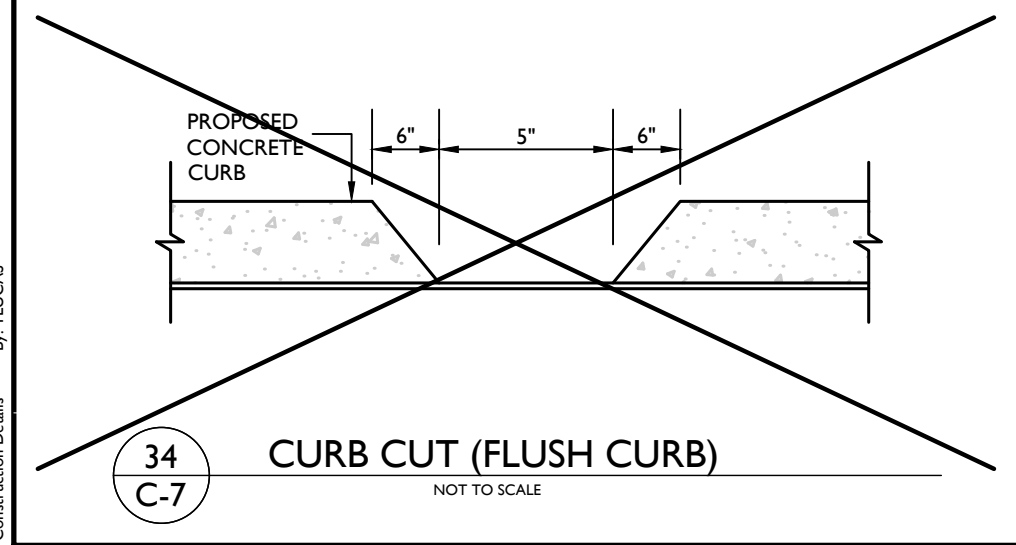
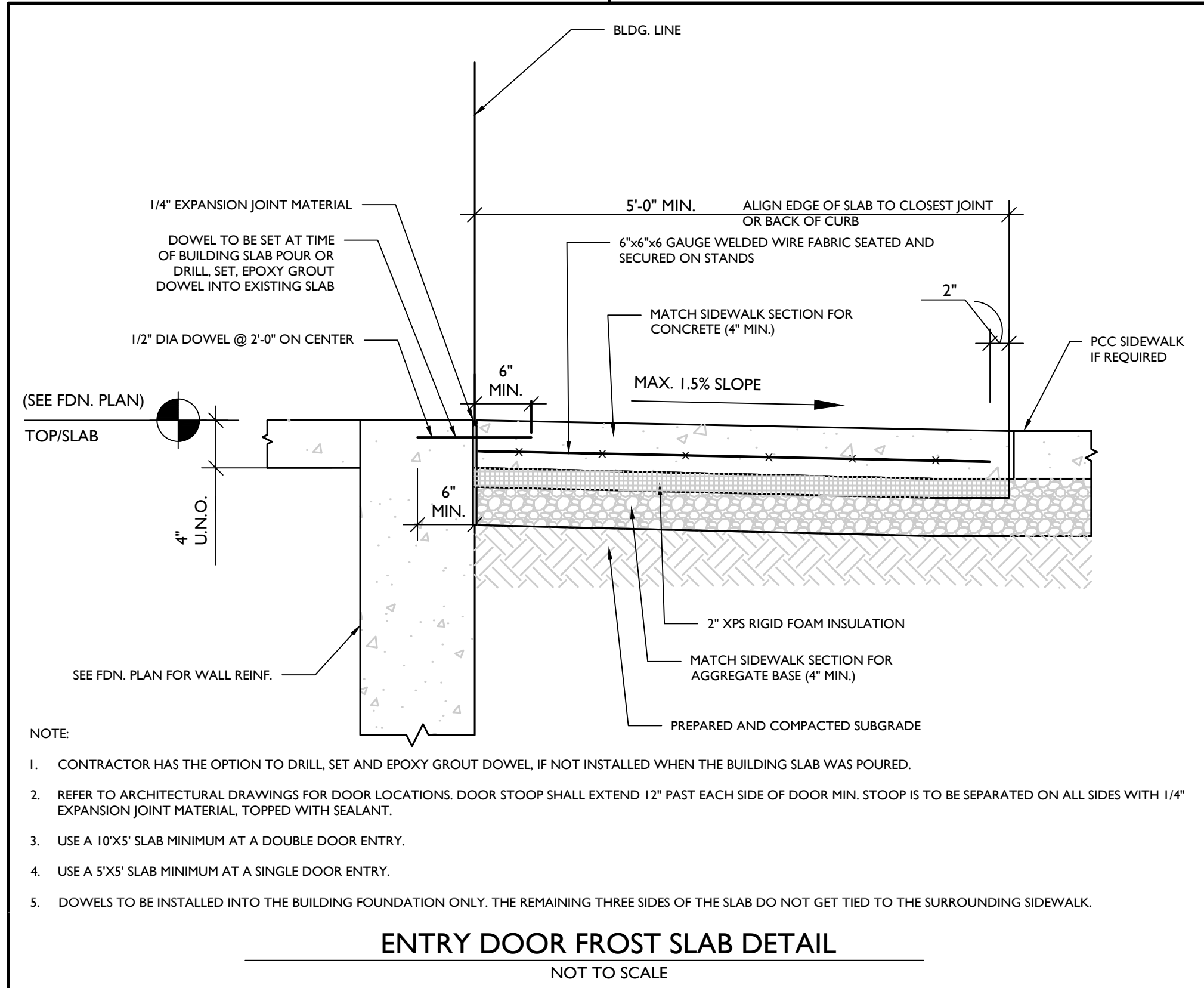
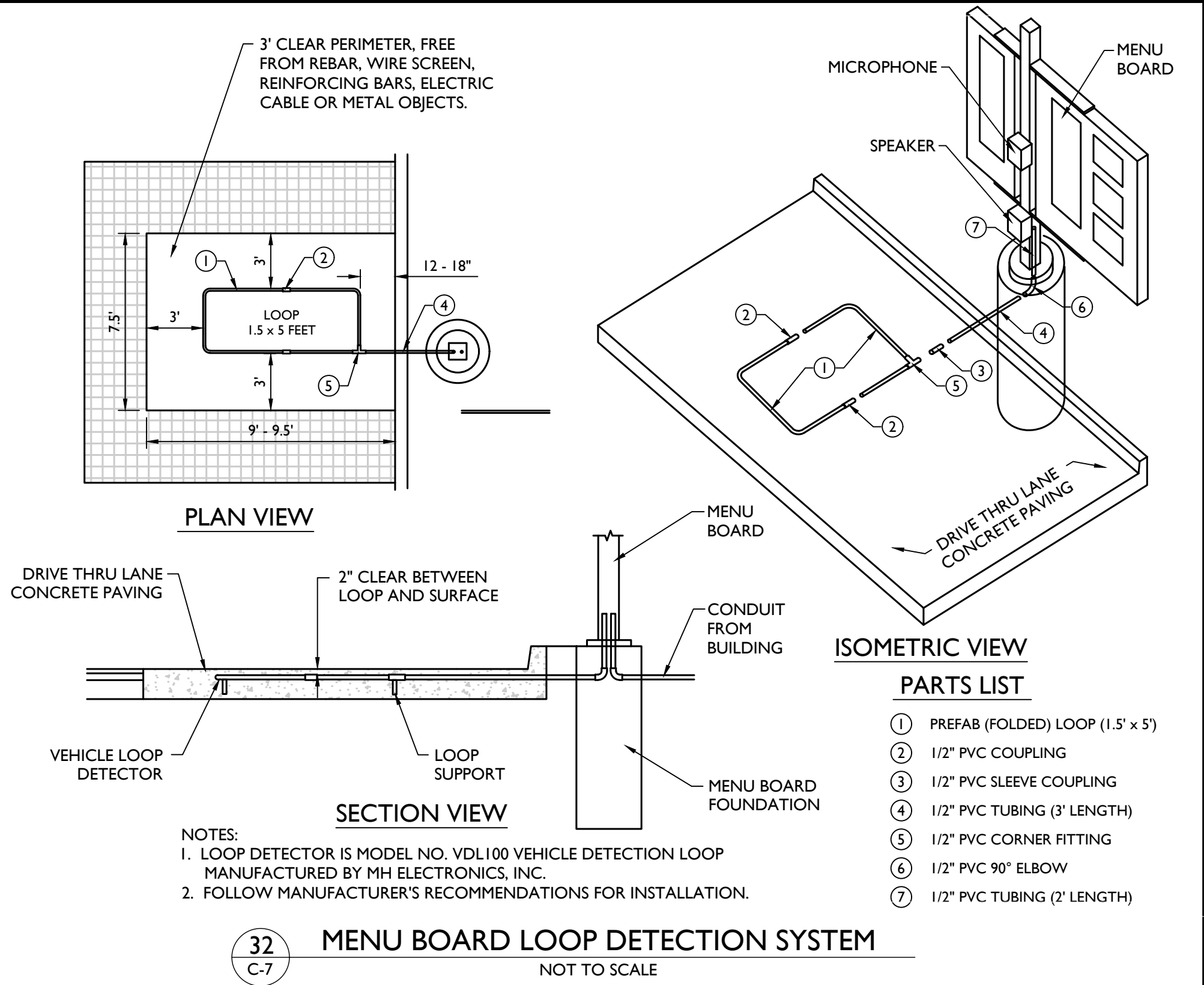
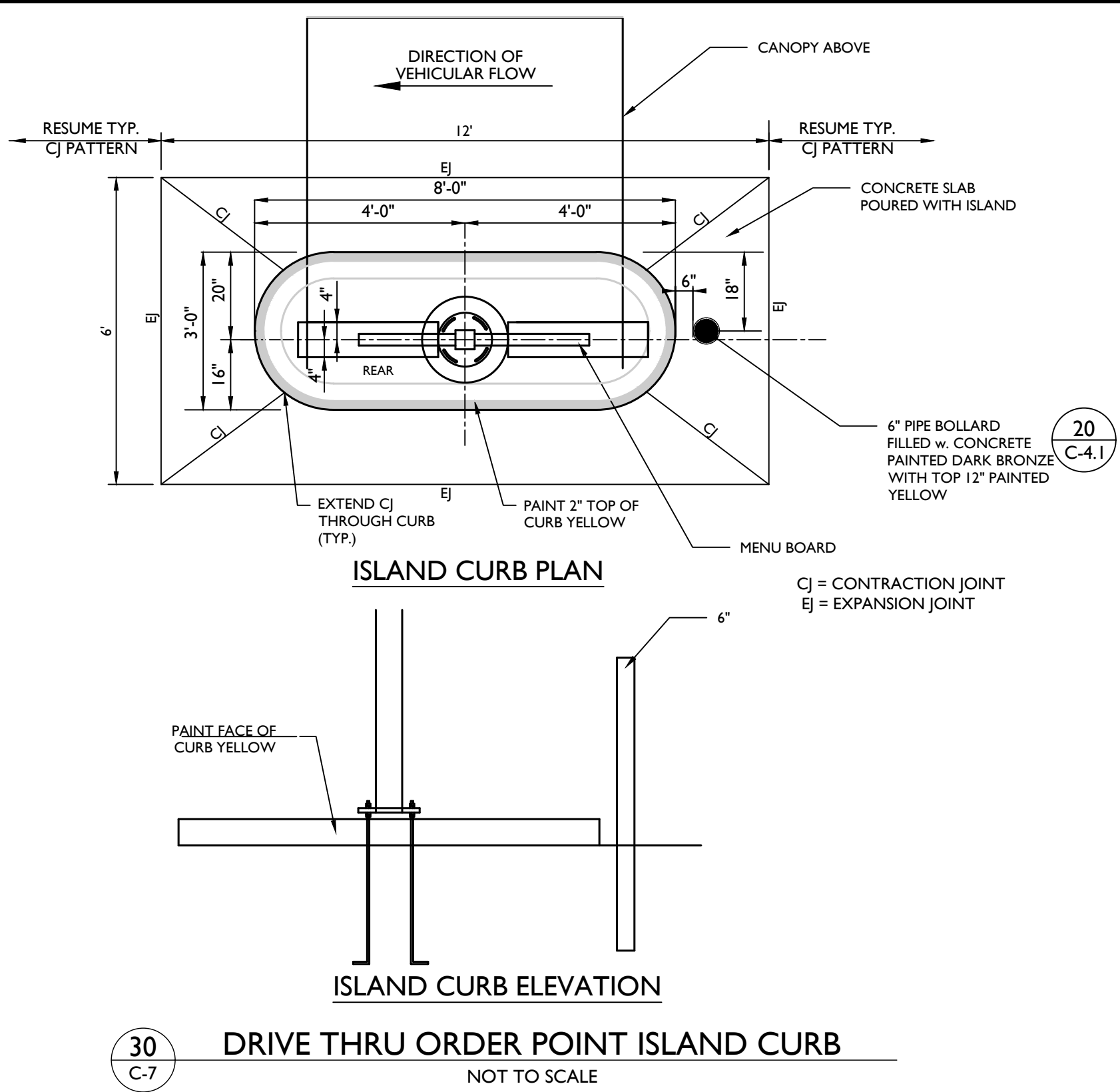
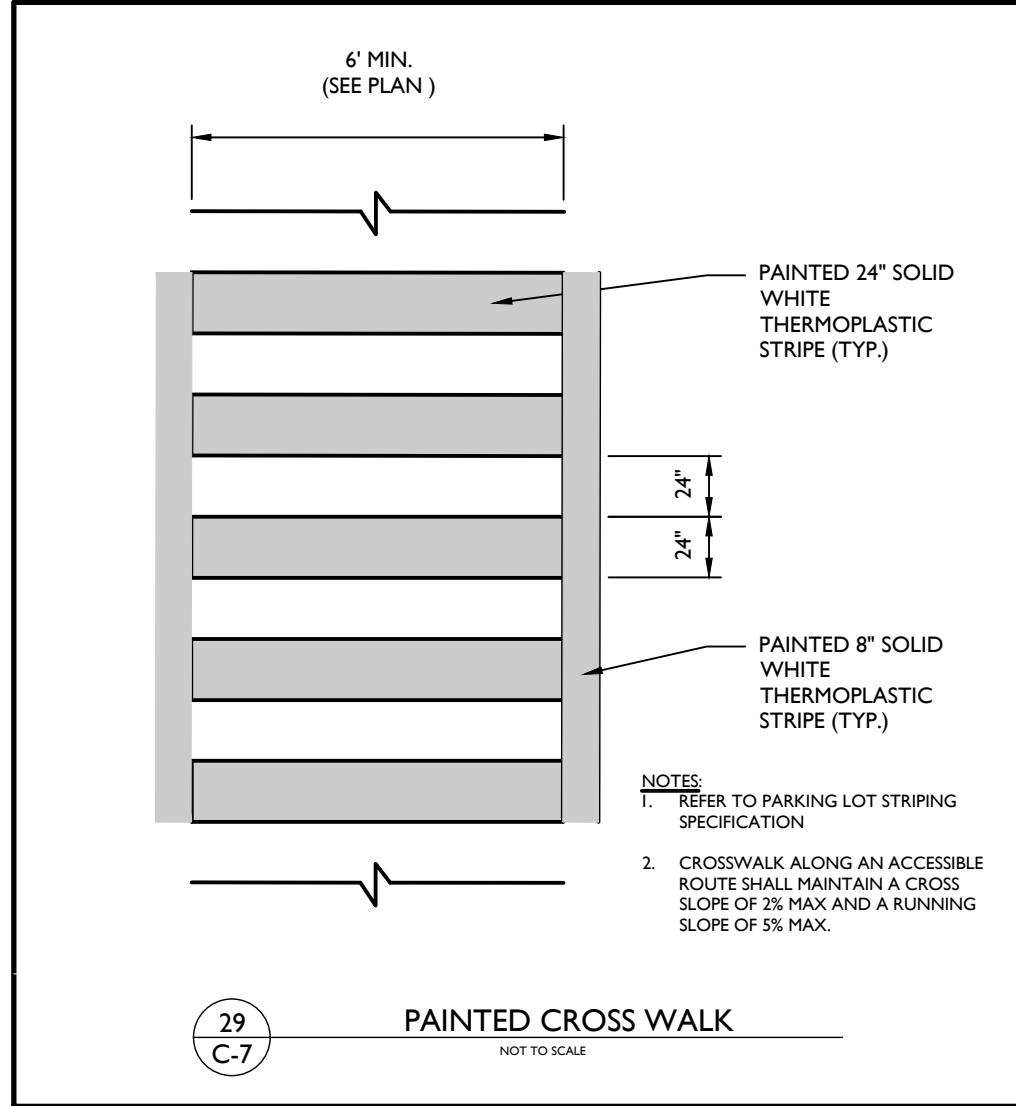












2020/05/07 AM Engineering Drawing/Engineering/SA Plant/C-DTLs.dwg C-7 Construction Details By: TLUCAS

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Telephone 404-765-8000

REV	DATE	DESCRIPTION	TITLE	DRAWN BY
1	1/7/2022	REVISED PER UTILITY COORDINATION.	TL	

Seal

Justin Ryan Thornton  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE000279  
COLLIERS ENGINEERING & DESIGN, INC.

Colliers Engineering & Design  
www.colliersengineering.com  
Doing Business as MASER  
1501 Pennsylvania Drive  
Suite 302  
Pittsburgh, PA 15223  
Phone 412.618.5390

STORE #2603  
STATE COLLEGE FSU  
PARCEL #: 18-010-282

PATTON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

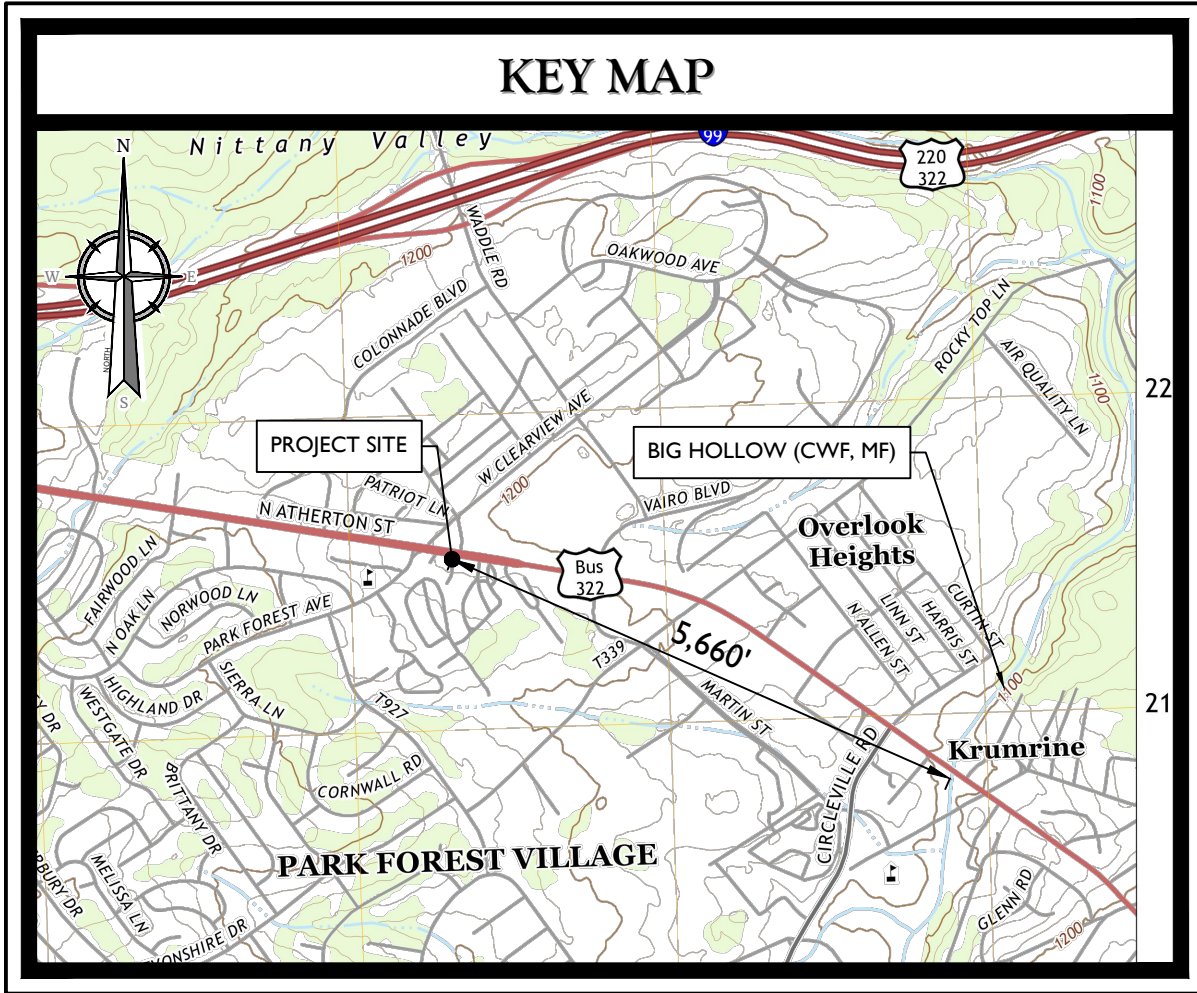
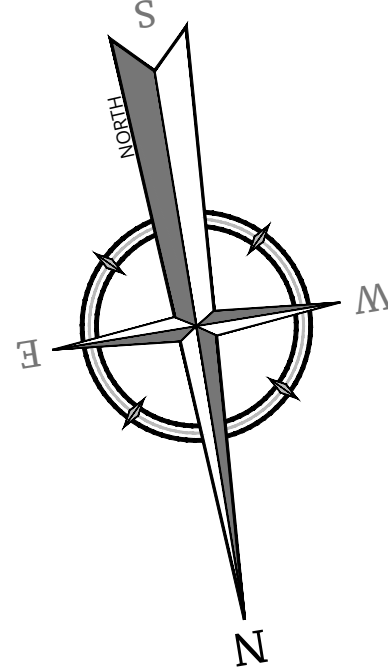
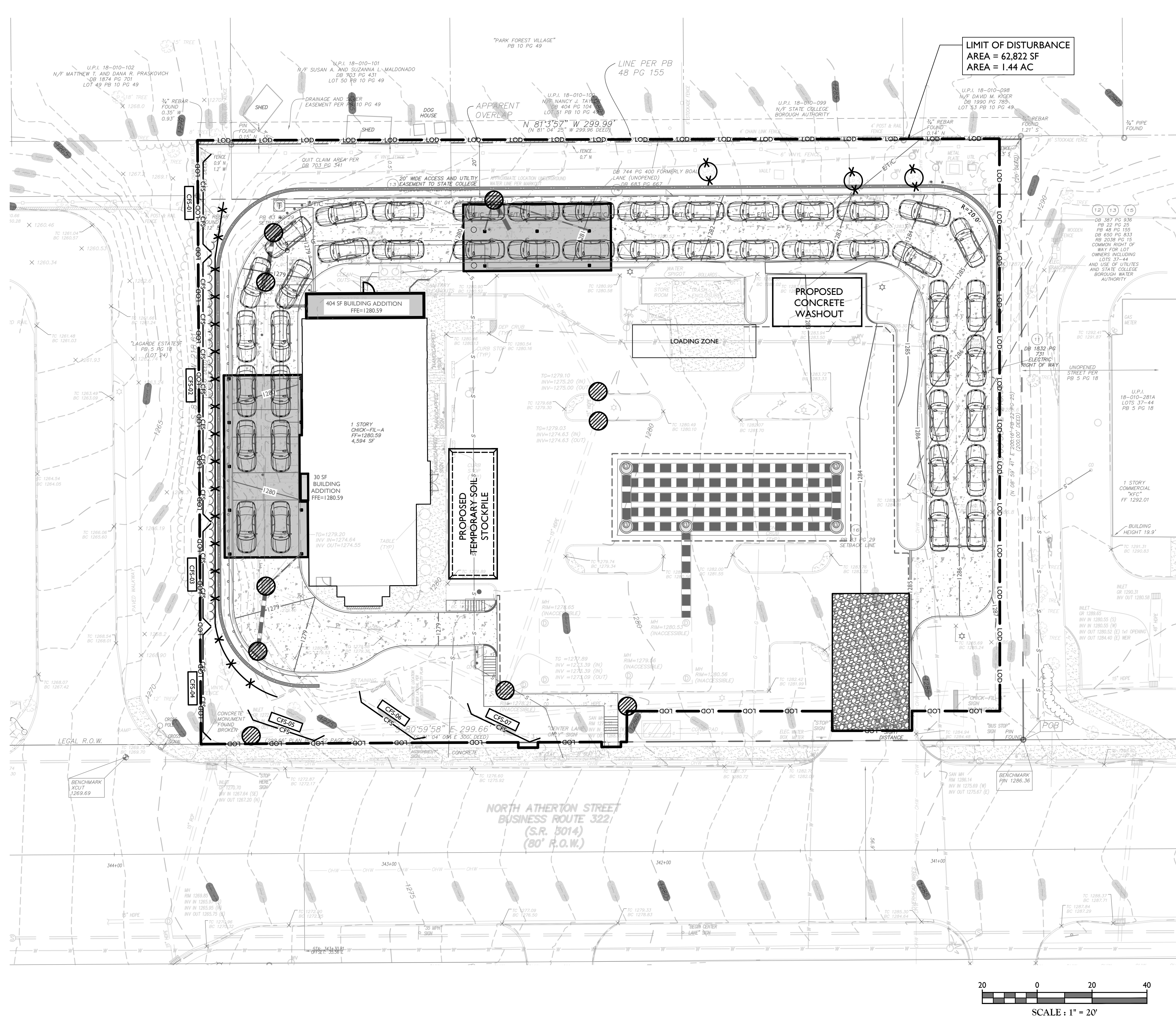
PRELIMINARY & FINAL  
MAJOR SITE PLAN

CONSTRUCTION  
DETAILS  
DWG EDITION 2.0  
☐ Preliminary  
☒ 80% Submittal  
☐ For Construction

File No.: 20005724A  
Store: 2603  
Date: 11/12/21  
Drawn By: JT  
Checked By: JRT  
Sheet

C 7





NOTES:

1. THE RECEIVING STREAM IS BIG HOLLOW WITHIN BALD EAGLE CREEK WATERSHED. USE DESIGNATION IS CWF, MF (COLD WATER FISHES, MIGRATORY FISH). THIS STREAM IS LOCATED APPROXIMATELY 5,660 FT EAST OF THE PROJECT SITE.
2. PROPOSED LIMIT OF DISTURBANCE IS 62,822 SF (1.44 AC.)
3. THERE ARE NO STREAMS, WETLANDS, FLOODWAYS, OR WATERCOURSES WITHIN THE PROPOSED DEVELOPMENT AREA.

UNDERGROUND BASIN SEQUENCE OF INSTALLATION

1. CLEAN AND INSPECT EXISTING BASIN AND PROVIDE A REPORT TO ENGINEER OF RECORD
2. REMOVE EXISTING ASPHALT AND STONE BASE.
3. EXCAVATE TO DESIGN STONE BASE ELEVATION. SCARIFY COMPACTED SOIL AND PLACE 6" STONE BASE.  
(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE SUBGRADE PREPARATION.)
4. INSTALL ADS N-12 UNDERGROUND BASIN SYSTEM.  
(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE UNDERGROUND BASIN SYSTEM INSTALLATION.)
5. PLACE 12" STONE COVER AND BACKFILL WITH SOIL TO DESIGN SUBGRADE ELEVATION FOR THE PARKING LOT.
6. COMPLETE WITH SUBBASE AND PAVEMENT FOR THE PARKING LOT AREA.

UNDERGROUND BASIN MAINTENANCE PROGRAM:

1. MAINTAINED BY: PROPERTY OWNER
2. UNDERGROUND BASIN WILL BE INSPECTED FOR ANY DEBRIS AND SETTLEMENT TWICE A YEAR. PERFORM ANY NECESSARY MAINTENANCE. ALL TRASH/DEBRIS/SETTLEMENT SHALL BE DISPOSED OF PROPERLY.

RECYCLING & DISPOSAL OF MATERIALS:

1. ANY POST-CONSTRUCTION WASTE MATERIALS COLLECTED BY THE UNDERGROUND BASIN AND/OR THE STORMWATER COLLECTION/CONVEYANCE SYSTEM SHALL BE DISPOSED OF PROPERLY. WASTE MATERIALS SHALL NOT BE DISTRIBUTED ON SITE. THERE SHALL BE NO DUMPING OF WASTE MATERIALS INTO THE STORM INLETS. ANTICIPATED POST-CONSTRUCTION WASTES FOR THIS PROJECT INCLUDE CUSTOMER TRASH/DEBRIS, VEHICULAR LIQUIDS, SEDIMENT, LEAVES, AND GRASS CLIPPINGS.

SEQUENCE OF DEVELOPMENT

PHASE I

1. INSTALL INLET FILTERS ON EXISTING INLETS TO REMAIN.
2. INSTALL TEMPORARY CONSTRUCTION FENCING
3. INSTALL ROCK CONSTRUCTION ENTRANCE

PHASE II

1. SAWCUT EXISTING PAVEMENT.
2. REMOVE EXISTING PAVEMENT/CONCRETE AS NECESSARY
3. REMOVE EXISTING FEATURES

PHASE III

1. ROUGH GRADE SITE
2. CONSTRUCT DRAINAGE FACILITIES.
3. INSTALL INLET FILTERS TO PROPOSED INLETS.
4. CONSTRUCT BUILDING FOUNDATIONS
5. INSTALL UTILITY SERVICE CONNECTIONS TO BUILDING LOCATION
6. CONSTRUCT CURBING, PAVEMENT BASE
7. INSTALL UNDERGROUND DETENTION BASIN


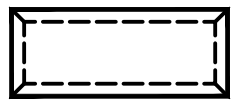


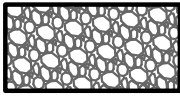
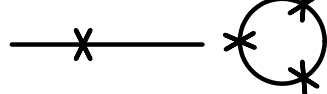
PHASE IV

1. COMPLETE CONSTRUCTION OF ALL STRUCTURES
2. DISTRIBUTE STOCK PILE SOIL
3. REMOVE EXCESS SOIL AND DEBRIS FROM SITE

PHASE V

1. BRING SITE TO FINISHED GRADE
2. COMPLETE LANDSCAPING
3. REMOVE E & S MEASURES

SOIL EROSION LEGEND

PROPOSED INLET FILTER	
PROPOSED AREA OF TEMPORARY TOPSOIL STOCK PILE	
PROPOSED COMPOST FILTER SOCK	
PROPOSED LIMIT OF DISTURBANCE	
PROPOSED CONSTRUCTION #1 ENTRANCE, 1 1/2"-2" Ø STONE (50' LONG x 25' WIDE x 12")	
TREE PROTECTION FENCE	

SOIL USE LIMITATIONS AND RESOLUTIONS:

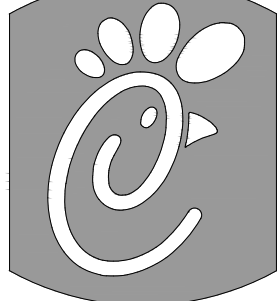
BASED ON THE WEB SOIL REPORT OF CENTRE COUNTY, THE EXISTING SOIL CLASSIFICATION WITHIN THE PROJECT AREA IS MIB (MORRISON SANDY LOAM, 2 TO 8 PERCENT SLOPES). MIB IS NOT HYDRIC SOIL. THE SOIL USE LIMITATIONS FOR MORRISON ARE LISTED BELOW. WHEN ISSUES OCCUR DURING CONSTRUCTION, USE BELOW RESOLUTIONS OR CONSULTANT WITH THE ENGINEERS.

SOIL USE LIMITATIONS:

1. CUTBANKS CAVE
2. CORROSIVE TO CONCRETE
3. EASILY ERODIBLE
4. LOW STRENGTH/LANDSLIDE PRONE
5. SLOW PERCOLATION
6. FROST ACTION
7. POTENTIAL SINKHOLE

RESOLUTION:

1. CUTBANKS CAVE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS
2. CORROSIVE TO CONCRETE/STEEL: CORROSIVE RESISTANT MATERIALS WILL BE USED OR CORROSIVE RESISTANT PRODUCTS WILL BE APPLIED TO THE SURFACE OF STEEL/CONCRETE FEATURES THAT CONTACT THE SOIL.
3. DROUGHTY: COMPOST WILL BE ADDED TO IMPROVE EXISTING SOIL CONDITIONS IF NECESSARY. (NOT ANTICIPATED)
4. EASILY ERODIBLE: DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS.
5. DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE: FILTER BAGS WILL BE USED IF WATER IS ENCOUNTERED DURING CONSTRUCTION.
6. HYDRIC/HYDRIC INCLUSIONS: HYDRIC SOILS ARE NOT EXPECTED ON THIS SITE.
7. LOW STRENGTH/LANDSLIDE PRONE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS, AND DISTURBED AREAS WILL BE STABILIZED WITH TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS.
8. SLOW PERCOLATION: NO INFILTRATION IS PROPOSED.
9. PIPING: ALL PIPE EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS.
10. POOR SOURCE OF TOPSOIL: ADD COMPOST TO IMPROVE SOIL CONDITION. USE SOILS FROM TOPSOIL STOCKPILES, IF NECESSARY, IMPORT TOPSOIL.
11. FROST ACTION: ALL PIPING WILL BE INSTALLED BELOW FROST LINE.
12. POTENTIAL SINKHOLE: MAINTAIN SEPARATION FROM INFILTRATION OF STORMWATER. MITIGATE POTENTIAL VOIDS DURING CONSTRUCTION.
13. WETNESS: NOT APPLICABLE.



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Justin Ryan Thornton  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE008279  
COLLIER ENGINEERING & DESIGN, INC.

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PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
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COLLIER ENGINEERING & DESIGN, INC.

Colliers Engineering & Design

Doing Business as  
M.A.S.E.R.  
1501 Revolution Drive  
Suite 302  
Pittsburgh, PA 15233  
Phone 412.618.5190

STORE #2603  
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PARCEL #: 18-010-282

PATTON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

PRELIMINARY & FINAL  
MAJOR SITE PLAN

OIL EROSION PLAN

DWG EDITION 2.0

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Drawn By: JT

Checked By: JRT

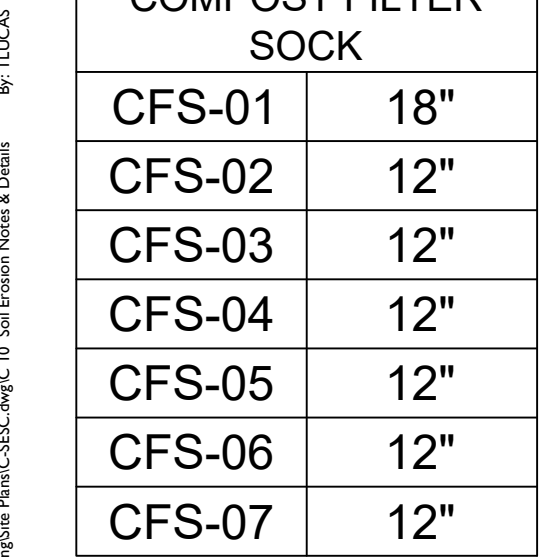
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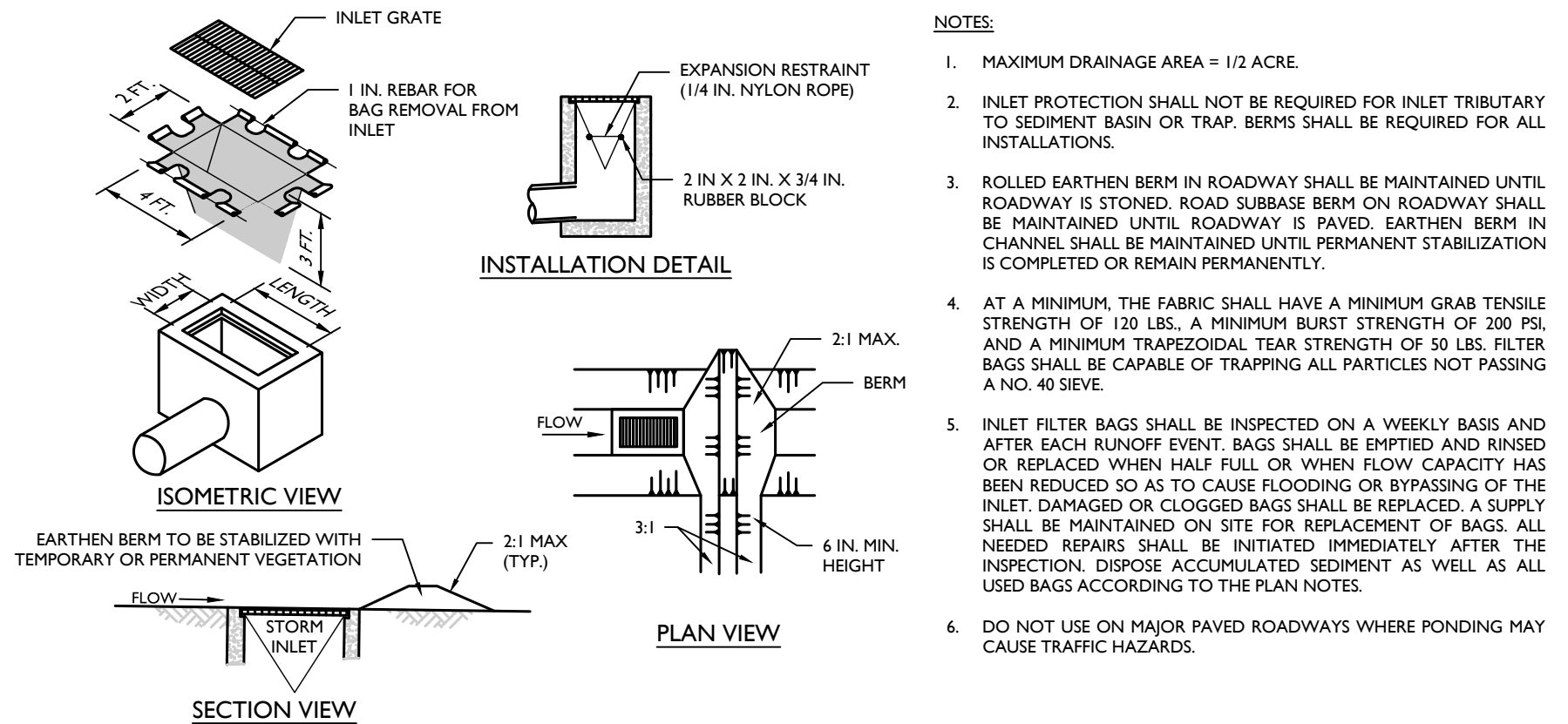






Organic Matter Content	25% - 100% (dry weight basis)
Organic Particle	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30% - 50% pass through $\frac{3}{8}$ " sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

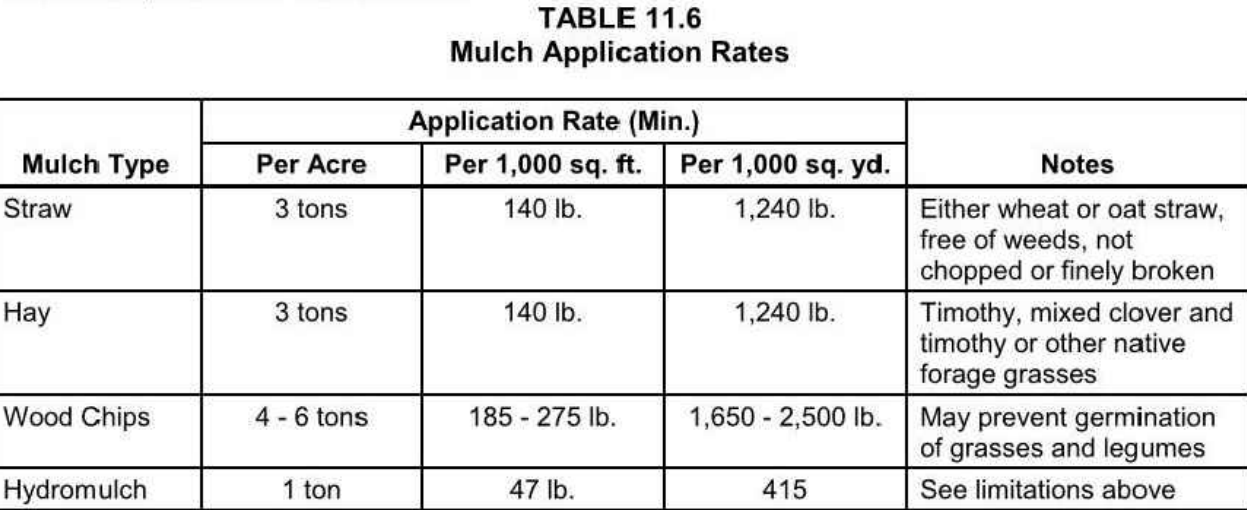
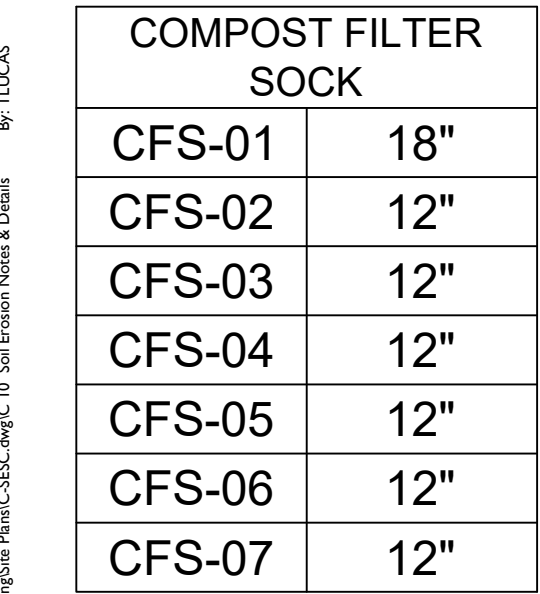
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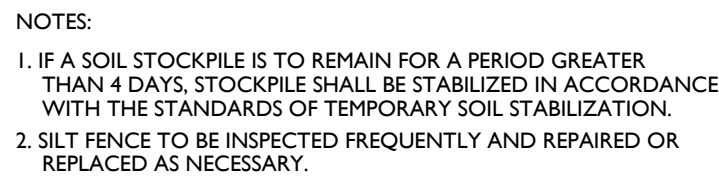
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05/01/18

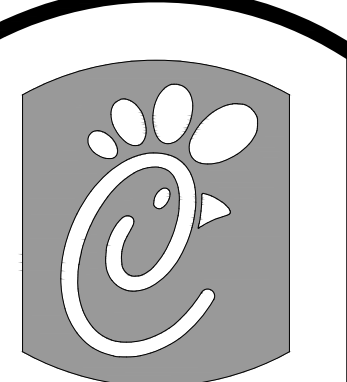


## MULCHING APPLICATION:

1. MULCHES AFFECT RAINFALL IMPACT, INCREASE THE RATE OF INFILTRATION, REDUCE SOIL MOISTURE LOSS DUE TO EVAPORATION, MODERATE SOIL TEMPERATURES, PROVIDE A SUITABLE ENVIRONMENT FOR GERMINATION, AND PROTECT THE SEEDLING FROM INTENSE SUNLIGHT. ALL SEEDED AREAS SHOULD BE MULCHED OR BLANKETED TO MINIMIZE THE POTENTIAL FOR FAILURE TO ESTABLISH AN ADEQUATE VEGETATIVE COVER. MULCHING MAY ALSO BE USED TO PREVENT EROSION OF SOILS THAT ARE SOLELY COVERED BY SOME TYPE OF VEGETATION IN NON-GERMINATING SEASONS.
2. MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN TABLE I.
3. STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BINDER WINDUPLING. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL — BETWEEN THE 3RD AND 4TH RATES. MULCHES SHOULD BE LIMITED TO DEEPS NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
4. MULCHES SHOULD BE APPLIED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45 F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE IN 3-4 LOGS OR MORE. MULCHES SHOULD BE LIMITED TO DEEPS NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD REMAIN ON THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER GENERALLY IS NOT RECOMMENDED.
5. SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
6. MULCH ON A SLOPE OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STRUNG OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH SHOULD BE USED ON SLOPES OF 5% OR STEEPER. A TACKIFIER SHOULD BE USED ON SLOPES STEEPER THAN 5%. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.



SOIL STOCKPILE DETAIL  
N.T.S.



5200 Buffington Road  
Atlanta, Georgia  
30349-2998  
telephone 404-765-8000

[illegible]

real



Justin Thenter

**Justin Ryan Thornton**  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE083279  
COLLIERS ENGINEERING & DESIGN, INC.



**www.colliersengineering.com**  
Doing Business as  **MASER**  
ENGINEERING  
**PITTSBURGH**  
1501 Reedsdale Street,  
Suite 302  
Pittsburgh, PA, 15233  
Phone: 412.618.5390

STORE #2603  
STATE COLLEGE FSU

PARCEL #: 18-010-282

PATTON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

# PRELIMINARY & FINAL MAJOR SITE PLAN

SOIL EROSION  
NOTES & DETAILS  
AWG EDITION 2.0

WG EDITION 2.0

Preliminary  
80% Submittal  
For Construction

File No.: 20005724A

store : 2603

Date : 11/12/21

Drawn By: \_\_\_\_\_

Checked By:                     

Sheet

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I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE ZONING HEARING BOARD OF THE TOWNSHIP OF PATTON AT THE REGULAR MEETING OF \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

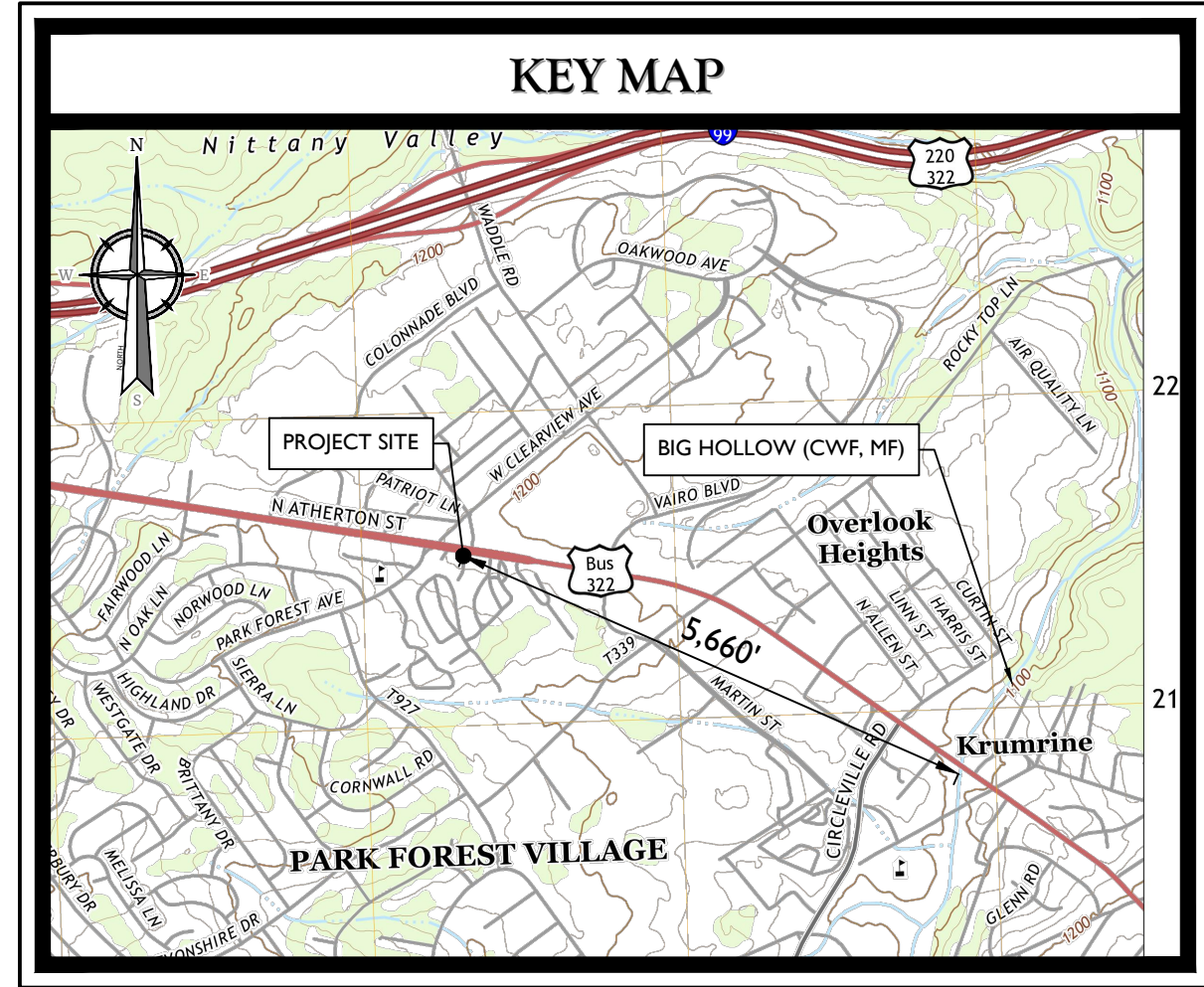
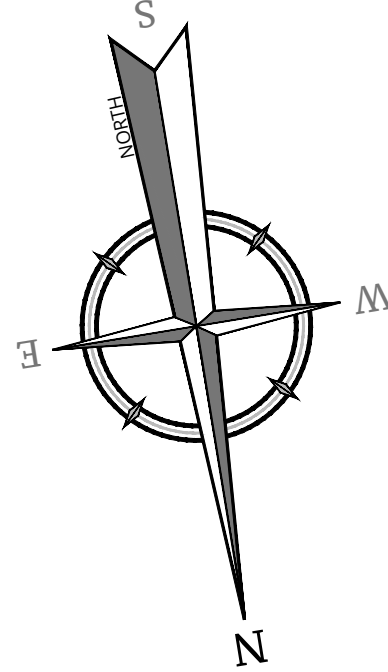
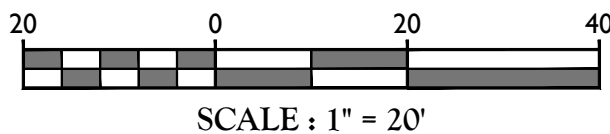
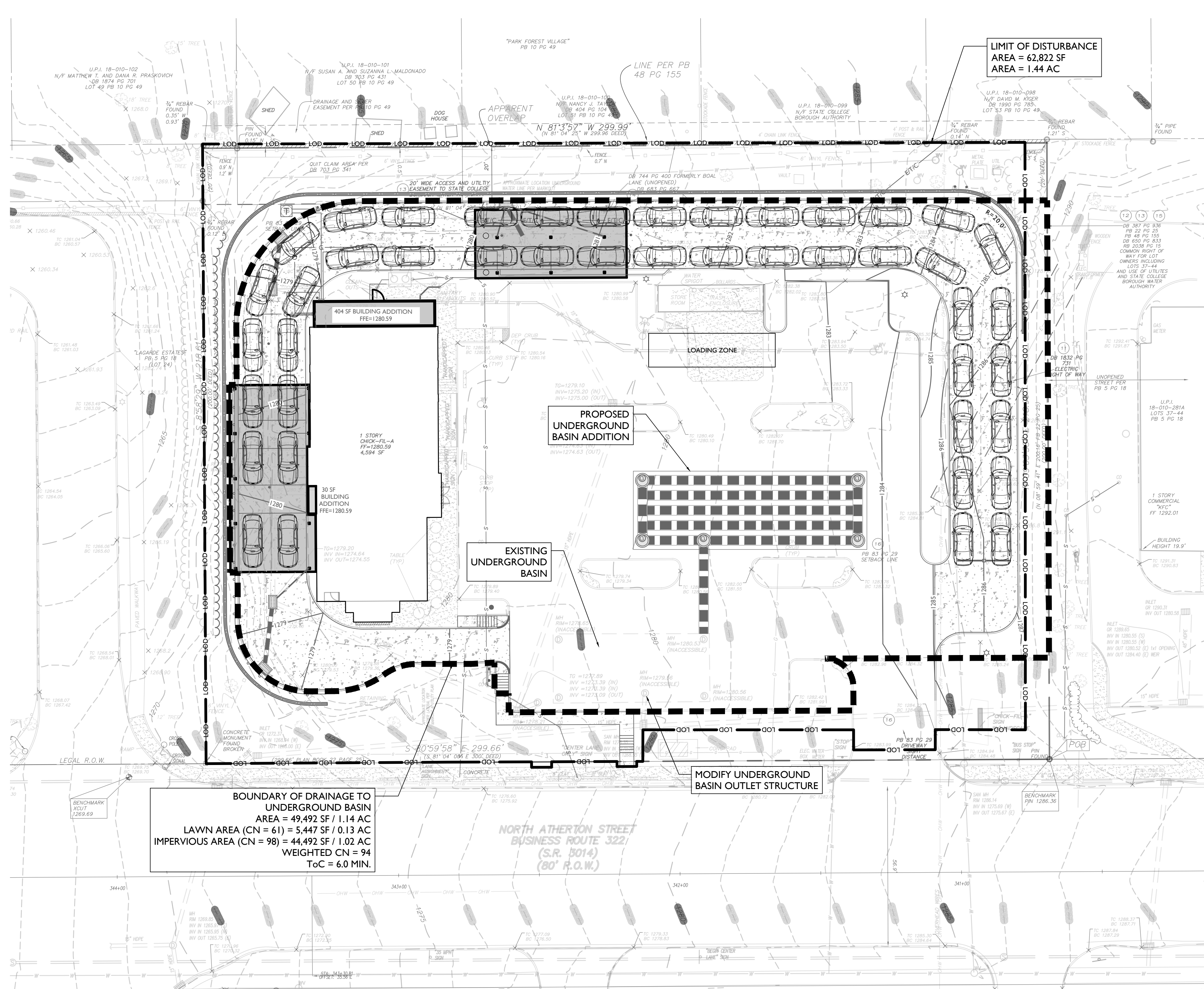
COMMONWEALTH OF PENNSYLVANIA )  
COUNTY OF CENTRE ) SS: \_\_\_\_\_

RECORDED IN THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF CENTRE, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_.

(SEAL)

MANAGER, DEPARTMENT OF REAL ESTATE



#### NOTES:

1. THE RECEIVING STREAM IS BIG HOLLOW WITHIN BALD EAGLE CREEK WATERSHED. USE DESIGNATION IS CWF, MF (COLD WATER FISHES, MIGRATORY FISH). THIS STREAM IS LOCATED APPROXIMATELY 5,660 FT EAST OF THE PROJECT SITE.
2. PROPOSED LIMIT OF DISTURBANCE IS 62,822 SF (1.44 AC.)
3. THERE ARE NO STREAMS, WETLANDS, FLOODWAYS, OR WATERCOURSES WITHIN THE PROPOSED DEVELOPMENT AREA.

#### PCSM PLAN OBJECTIVES:

1. PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
2. PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF.
3. MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME.
4. MINIMIZE IMPERVIOUS AREAS.
5. MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION.
6. MINIMIZE LAND CLEARING AND GRADING.
7. MINIMIZE SOIL COMPACTION.
8. UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMPs THAT PREVENT AND MINIMIZE CHANGES IN STORMWATER RUNOFF.

#### UNDERGROUND BASIN SEQUENCE OF INSTALLATION

1. REMOVE EXISTING ASPHALT AND STONE BASE.
2. EXCAVATE TO DESIGN STONE BASE ELEVATION. SCARIFY COMPACTED SOIL AND PLACE 6" STONE BASE.  
(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE SUBGRADE PREPARATION.)
3. INSTALL ADS N-12 UNDERGROUND BASIN SYSTEM.  
(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE UNDERGROUND BASIN SYSTEM INSTALLATION.)
4. PLACE 12" STONE COVER AND BACKFILL WITH SOIL TO DESIGN SUBGRADE ELEVATION FOR THE PARKING LOT.
5. COMPLETE WITH SUBBASE AND PAVEMENT FOR THE PARKING LOT AREA.

#### UNDERGROUND BASIN MAINTENANCE PROGRAM:

1. MAINTAINED BY: PROPERTY OWNER
2. UNDERGROUND BASIN WILL BE INSPECTED FOR ANY DEBRIS AND SETTLEMENT TWICE A YEAR. PERFORM ANY NECESSARY MAINTENANCE. ALL TRASH/DEBRIS/SETTLEMENT SHALL BE DISPOSED OF PROPERLY.

#### STORMWATER MANAGEMENT

##### EXISTING UNDERGROUND BASIN - 5 ROWS OF 55 FT CLOSED 36" PIPE

- PURPOSE: REDUCE RUNOFF VOLUME AND PEAK RATE DISCHARGE
- SURFACE AREA: 1,355 SF
- BOTTOM ELEVATION: 1,273.14'
- TOP ELEVATION: 1,278.14'
- DEPTH: 3.0'
- STRUCTURAL STORAGE VOLUME PROVIDED: 1,944 CF

##### PROPOSED UNDERGROUND BASIN ADDITION - 5 ROWS OF 80 FT OPEN 36" PIPE

- PURPOSE: REDUCE RUNOFF VOLUME AND PEAK RATE DISCHARGE
- SURFACE AREA: 2,310 SF
- BOTTOM ELEVATION: 1,273.14'
- TOP ELEVATION: 1,278.14'
- DEPTH: 5'
- STRUCTURAL STORAGE VOLUME PROVIDED: 6,043 CF

#### DRAINAGE INFORMATION

- IMPERVIOUS AREA = 42,580 SF / 0.98 AC
- LAWN AREA = 6,912 SF / 0.16 AC
- DRAINAGE AREA 2-YEAR RUNOFF VOLUME = 7,710 CF

#### SOIL EROSION LEGEND

PROPOSED LIMIT OF DISTURBANCE	— LOD — LOD —
PROPOSED BMP DRAINAGE AREA	— — — — —

#### SOIL USE LIMITATIONS AND RESOLUTIONS:

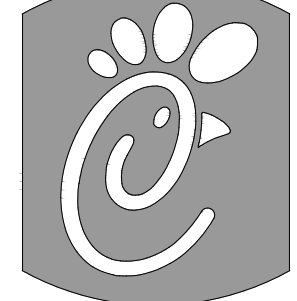
BASED ON THE WEB SOIL REPORT OF CENTRE COUNTY, THE EXISTING SOIL CLASSIFICATION WITHIN THE PROJECT AREA IS M8 (MORRISON SANDY LOAM, 2 TO 8 PERCENT SLOPES). M8 IS NOT HYDRIC SOIL. THE SOIL USE LIMITATIONS FOR MORRISON ARE LISTED BELOW. WHEN ISSUES OCCUR DURING CONSTRUCTION, USE BELOW RESOLUTIONS OR CONSULTANT WITH THE ENGINEERS.

#### SOIL USE LIMITATIONS:

1. CUTBANKS CAVE
2. CORROSIVE TO CONCRETE
3. EASILY ERODIBLE
4. LOW STRENGTH/LANDSLIDE PRONE
5. SLOW PERCOLATION
6. FROST ACTION
7. POTENTIAL SINKHOLE

#### RESOLUTION:

1. CUTBANKS CAVE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS.
2. CORROSIVE TO CONCRETE/STEEL: CORROSIVE RESISTANT MATERIALS WILL BE USED OR CORROSIVE RESISTANT PRODUCTS WILL BE APPLIED TO THE SURFACE OF STEEL/CONCRETE FEATURES THAT CONTACT THE SOIL.
3. DROUGHTY: COMPOST WILL BE ADDED TO IMPROVE EXISTING SOIL CONDITIONS IF NECESSARY. (NOT ANTICIPATED)
4. EASILY ERODIBLE: DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS.
5. DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE: FILTER BAGS WILL BE USED IF WATER IS ENCOUNTERED DURING CONSTRUCTION.
6. HYDRIC/HYDRIC INCLUSIONS: HYDRIC SOILS ARE NOT EXPECTED ON THIS SITE.
7. LOW STRENGTH/LANDSLIDE PRONE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS, AND DISTURBED AREAS WILL BE STABILIZED WITH TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS.
8. SLOW PERCOLATION: NO INFILTRATION IS PROPOSED.
9. PIPING: ALL PIPE EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS.
10. POOR SOURCE OF TOPSOIL: ADD COMPOST TO IMPROVE SOIL CONDITION. USE SOILS FROM TOPSOIL STOCKPILES, IF NECESSARY, IMPORT TOPSOIL.
11. FROST ACTION: ALL PIPING WILL BE INSTALLED BELOW FROST LINE.
12. POTENTIAL SINKHOLE: MAINTAIN SEPARATION FROM INFILTRATION OF STORMWATER. MITIGATE POTENTIAL VOIDS DURING CONSTRUCTION.
13. WITNESS: NOT APPLICABLE.



5200 Buffington Road  
Atlanta, Georgia  
30349-2998

Telephone 404-765-8000

REV	DATE	DESCRIPTION	TL	DRAWN BY
1	1/7/2022	REVISED PER UTILITY COORDINATION.		

Seal



Justin Ryan Thornton  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE008379  
COLLIER ENGINEERING & DESIGN, INC.

Colliers Engineering & Design

www.colliersengineering.com  
Doing Business as: MASER  
PITTSBURGH  
1560 Revolution Drive  
Suite 302  
Pittsburgh, PA 15233  
Phone 412.618.5190

STORE #2603  
STATE COLLEGE FSU

PARCEL #: 18-010-282

PATTON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

PRELIMINARY & FINAL  
MAJOR SITE PLAN

PCSM PLAN

DWG EDITION 2.0

- ☐ Preliminary  
☐ 80% Submittal  
☐ For Construction

File No.: 20005724A

Store: 2603

Date: 11/1/2021

Drawn By: JT

Checked By: JRT

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Know what's below.  
Call before you dig.



1-800-272-1000



2020/05/27 AM:Engineering Drawing/Engineering Plan/C-12 PCSM Notes & Details By: TLUCAS

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN  
DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
  
APPROVED BY THE ZONING HEARING BOARD OF THE TOWNSHIP OF PATTON AT THE REGULAR  
MEETING OF \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
  
ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA )  
COUNTY OF CENTRE ) SS:  
  
RECORDED IN THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF CENTRE, COMMONWEALTH OF  
PENNSYLVANIA, IN PLAN BOOK VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_.  
GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_.

(SEAL)

MANAGER, DEPARTMENT OF REAL ESTATE

UNDERGROUND STORMWATER INFILTRATION BASIN NOTES:

1. ALL BASIN EXCAVATION MUST BE PERFORMED BY EQUIPMENT PLACED OUTSIDE THE BASIN WHENEVER POSSIBLE TO PREVENT THE COMPACTION OF THE BASIN SUBGRADE SOILS. DO NOT STOCKPILE MATERIAL IN THE AREA OF THE BASIN.
2. CRUSHED STONE FILL USED IN SUBSURFACE INFILTRATION BASINS SHALL BE CLEAN WASHED STONE, AND PLACED IN LIFTS AND COMPACTED USING PLATE COMPACTORS. A MAXIMUM LOOSE LIFT THICKNESS OF 12 INCHES IS RECOMMENDED.
3. DO NOT PLACE THE INFILTRATION BASIN(S) INTO OPERATION UNTIL THE CONTRIBUTORY DRAINAGE AREA(S) ARE COMPLETELY STABILIZED.
4. THE CONTRACTOR SHALL NOTIFY THE SITE ENGINEER IMMEDIATELY IF SOIL CONDITIONS ENCOUNTERED IN THE FIELD DIFFER FROM WHAT IS SHOWN IN THE GEOTECHNICAL REPORT.
5. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO ORDERING MATERIAL.

UNDERGROUND STORMWATER INFILTRATION BASIN INSTALLATION NOTES:

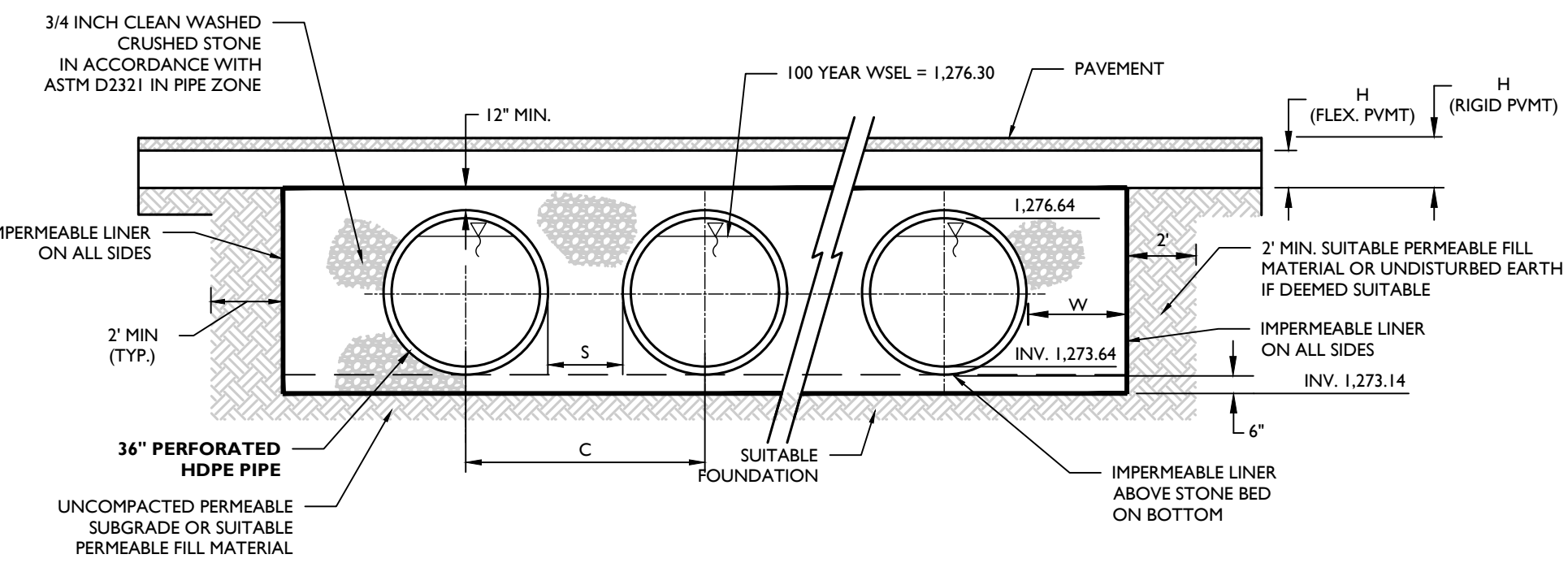
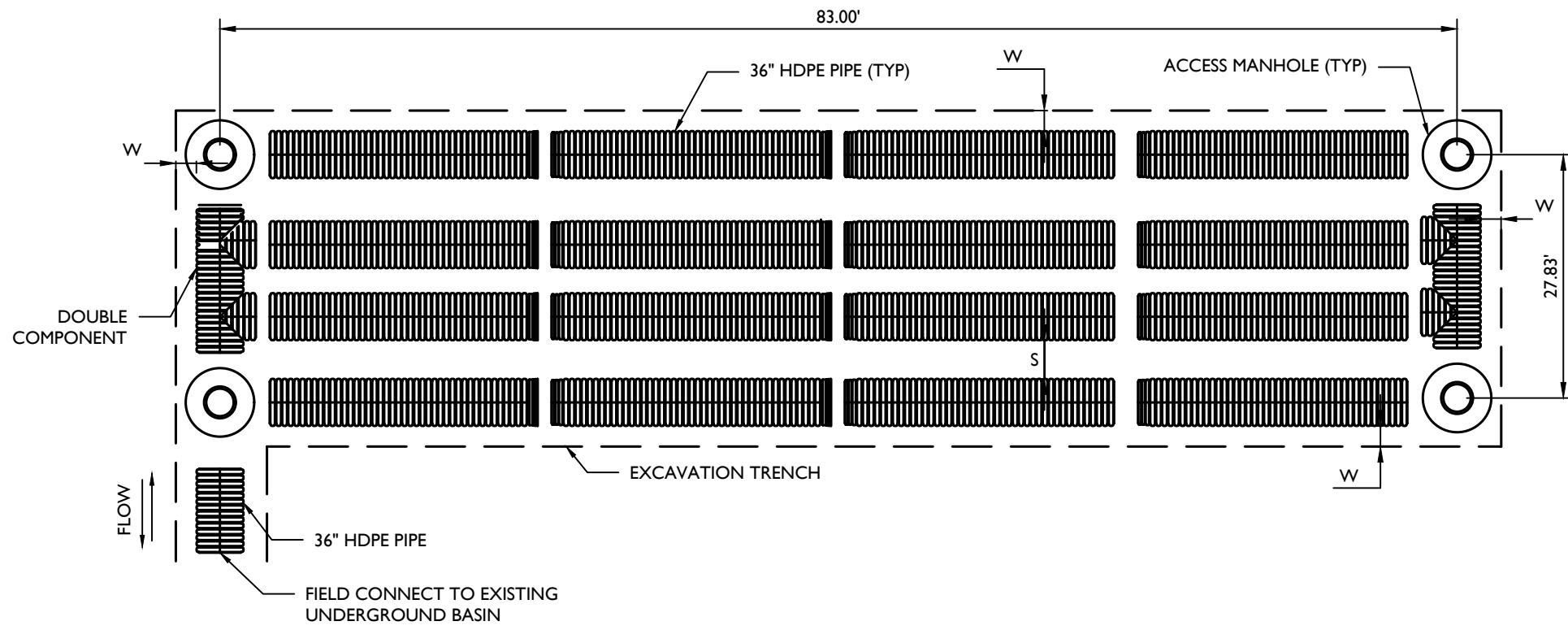
1. PRIOR TO SMP INSTALLATION, THE INSPECTIONS COORDINATOR OF COUNTY CONSERVATION DISTRICT MUST BE CONTACTED TO SCHEDULE AN INSPECTION.
2. THE CONTRACTOR SHALL IDENTIFY THE CONSTRUCTION EQUIPMENT TO BE USED FOR THE BASIN/BMP CONSTRUCTION AND THE CONSTRUCTION TECHNIQUES THAT WILL BE USED TO MINIMIZE COMPACTION OF THE INFILTRATION AREA.
3. CONTRACTOR TO INSTALL SILT SOXX AROUND THE ENTIRE UNDERGROUND INFILTRATION AREA AND PROTECT THE AREA AT ALL TIMES.
4. INSTALL OUTLET STRUCTURE AND OUTLET PIPE. CONSTRUCTION FENCE AND SILT/SOXX WHICH HAS BEEN REMOVED FOR THIS STAGE OF CONSTRUCTION MUST BE RE-INSTALLED AND STABILIZED AT THE END OF THE WORKING DAY.
5. THE CONTRACTOR SHALL ENSURE THAT PROPER PRECAUTIONS ARE TAKEN TO PREVENT SEDIMENT ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.
6. CONTRACTOR MUST NOT COMPACT THE SUBGRADE ELEVATION OF THE SMP.
7. INSTALL THE UNDERGROUND INFILTRATION BASIN AS INDICATED IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS.

UNDERGROUND BASIN NOTES:

1. ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL. (SEE ASTM D2321)
4. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER.
5. BEDDING: THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER.

UNDERGROUND BASIN INSTALLATION NOTES:

1. CONTRACTOR TO INSTALL SILT SOXX AROUND THE ENTIRE UNDERGROUND DETENTION AREA AND PROTECT THE AREA AT ALL TIMES.
2. INSTALL OUTLET STRUCTURE AND OUTLET PIPE. CONSTRUCTION FENCE AND SILT SOXX WHICH HAS BEEN REMOVED FOR THIS STAGE OF CONSTRUCTION MUST BE RE-INSTALLED AND STABILIZED AT THE END OF THE WORKING DAY.
3. CONTRACTOR MUST NOT COMPACT THE SUBGRADE ELEVATION OF THE BMP.
4. EXCAVATE TO THE REQUIRED DEPTH AND PERFORM TWO (2) DOUBLE RING INFILTRATION TESTS. SUPPLY THE INFORMATION TO THE GEOTECHNICAL ENGINEER AND MASER CONSULTING FOR APPROVAL.
5. INSTALL THE UNDERGROUND DETENTIONS SYSTEM AS INDICATED ON THE DETAIL SHEETS.
6. ALL STONE THAT MAKES UP THE UNDERGRUND DETENTION FACILITY MUST REMAIN FREE OF SEDIMENT. IF SEDIMENT ENTERS THE STONE, THE CONTRACTOR MUST REMOVE THE SEDIMENT AND REPLACE IT WITH CLEAN-WASHED STONE.



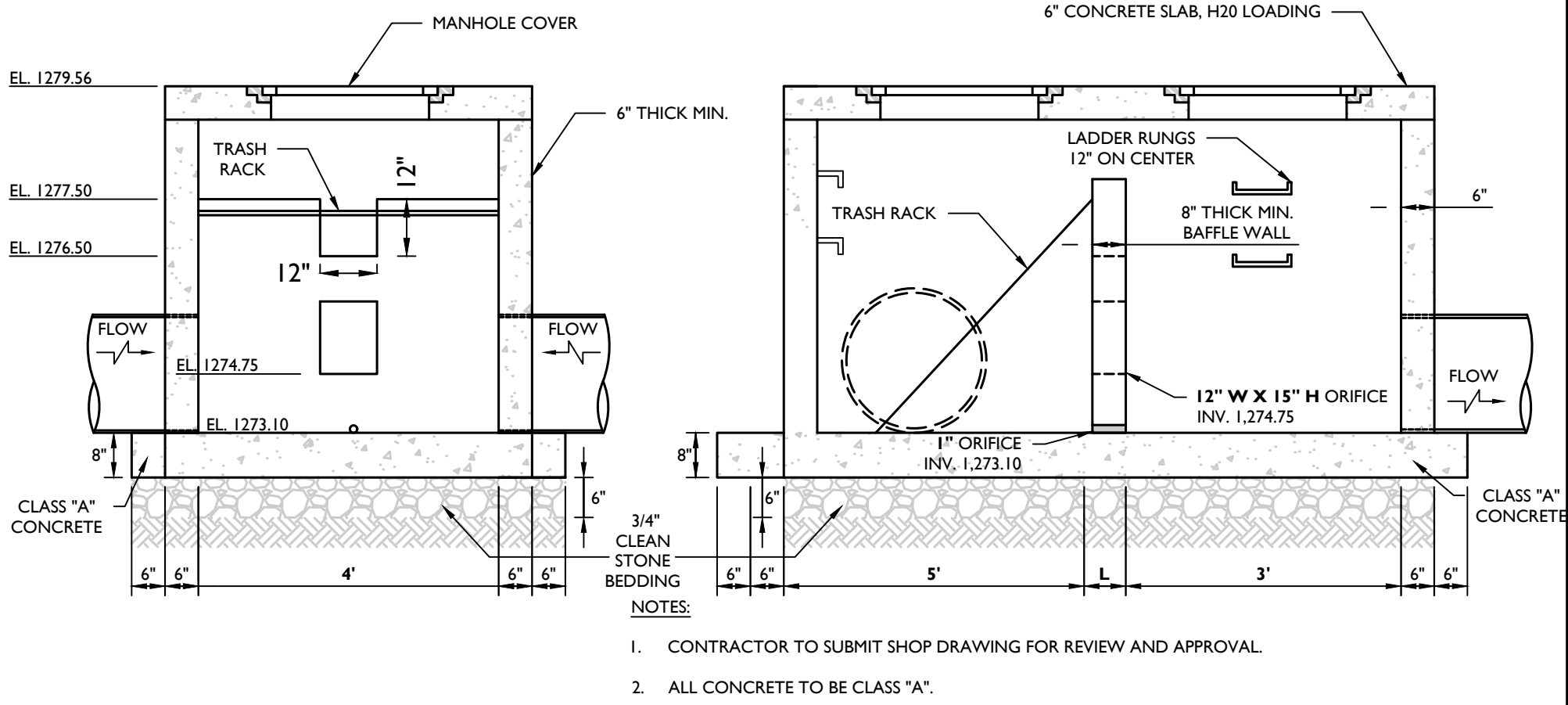
NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "S"	TYPICAL SPACING "C"	TYPICAL SIDE WALL "W"	H (MIN. PIPE COVER) (TRAFFIC)
36" (900 MM)	42" (1067 MM)	22" (559 MM)	63" (1600 MM)	18" (457 MM)	12" (292 MM)

- NOTES:
1. SEE ABOVE CHART SPECIFIC TO MATERIAL/PIPE SIZES PER MANUFACTURER'S SPECIFICATIONS.
  2. (H) FOR FLEXIBLE PAVEMENT MAY INCLUDE THE PAVEMENT SUBBASE THICKNESS AS MINIMUM COVER.
  3. MATERIAL TO BE ADS PIPE OR APPROVED EQUIVALENT.

UNDERGROUND INFILTRATION & DETENTION BASIN (OPEN SYSTEM) DETAIL

MCPA-UTIL-STMW-1400

MOD: 11/09/21  
05/01/18

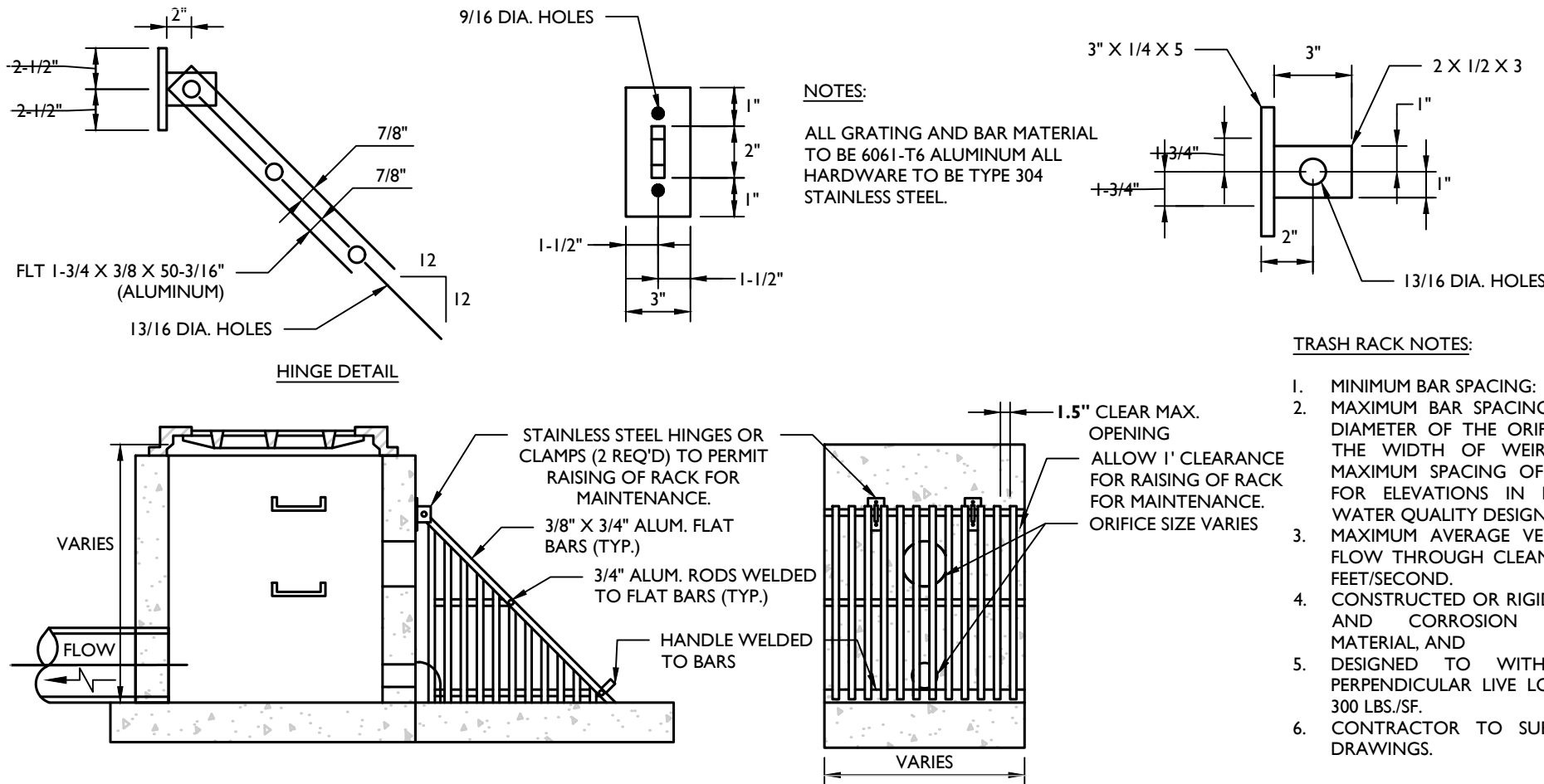


OUTLET CONTROL STRUCTURE (WITH TOP SLAB) DETAIL

NOT TO SCALE

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MOD: 10/27/21  
05/01/18

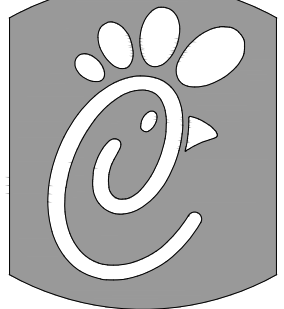


SLANTED TRASH RACK DETAIL

NOT TO SCALE

MCPA-UTIL-STMW-1801

05/01/18



Chick-fil-A

5200 Buffington Road  
Atlanta, Georgia  
30349-2998  
Telephone 404-765-8000

REV	DATE	DESCRIPTION	TITLE	DRAWN BY
1	1/7/2022	REVISED PER UTILITY COORDINATION.	TL	

Seal



Justin Thornton

Justin Ryan Thornton  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE0082979  
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Doing Business as MASER  
PITTSBURGH  
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Pittsburgh, PA 15223  
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PATTON TOWNSHIP  
CENTRE COUNTY  
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PRELIMINARY & FINAL  
MAJOR SITE PLAN

PCSM NOTES &  
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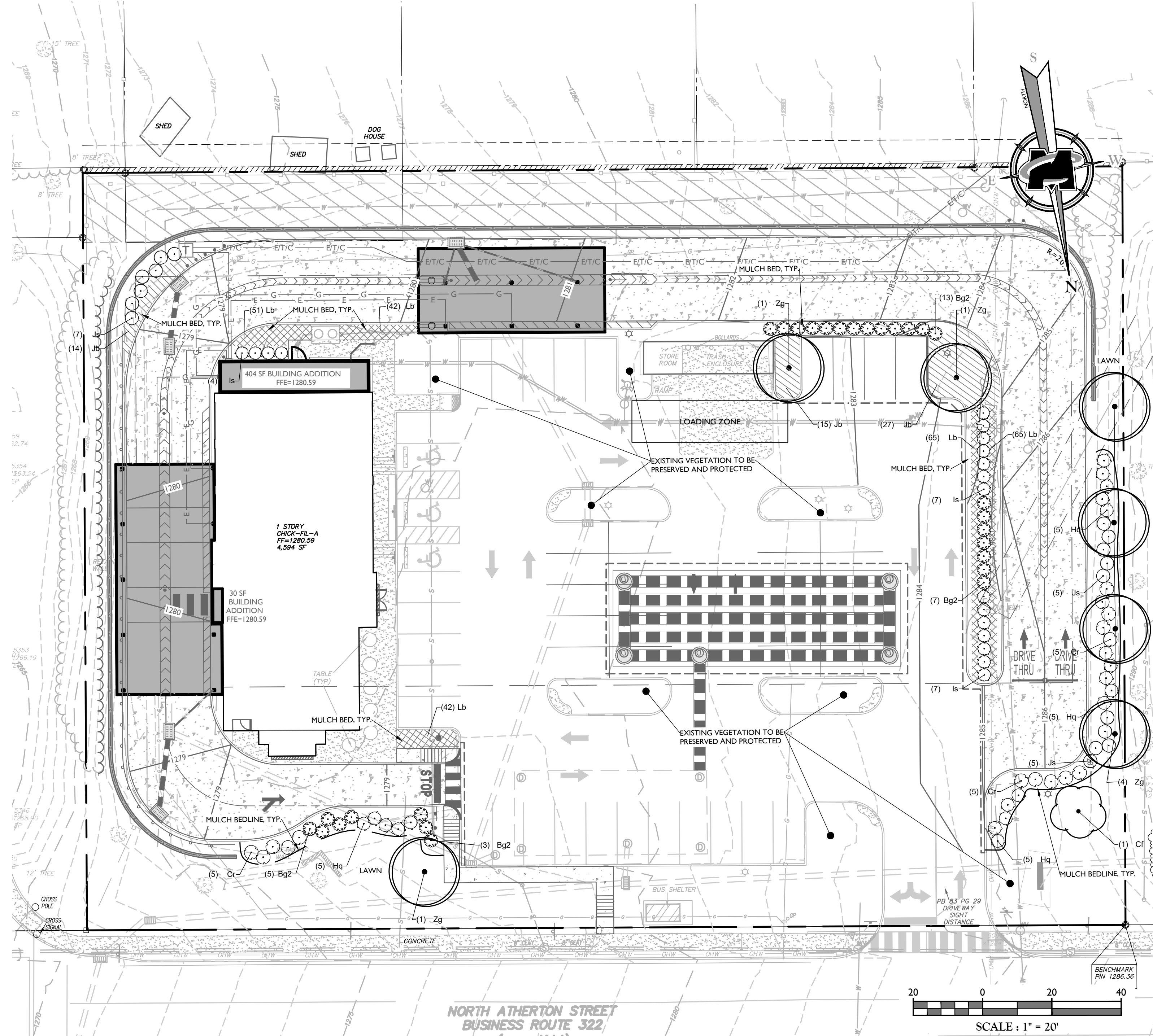
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Checked By: JRT

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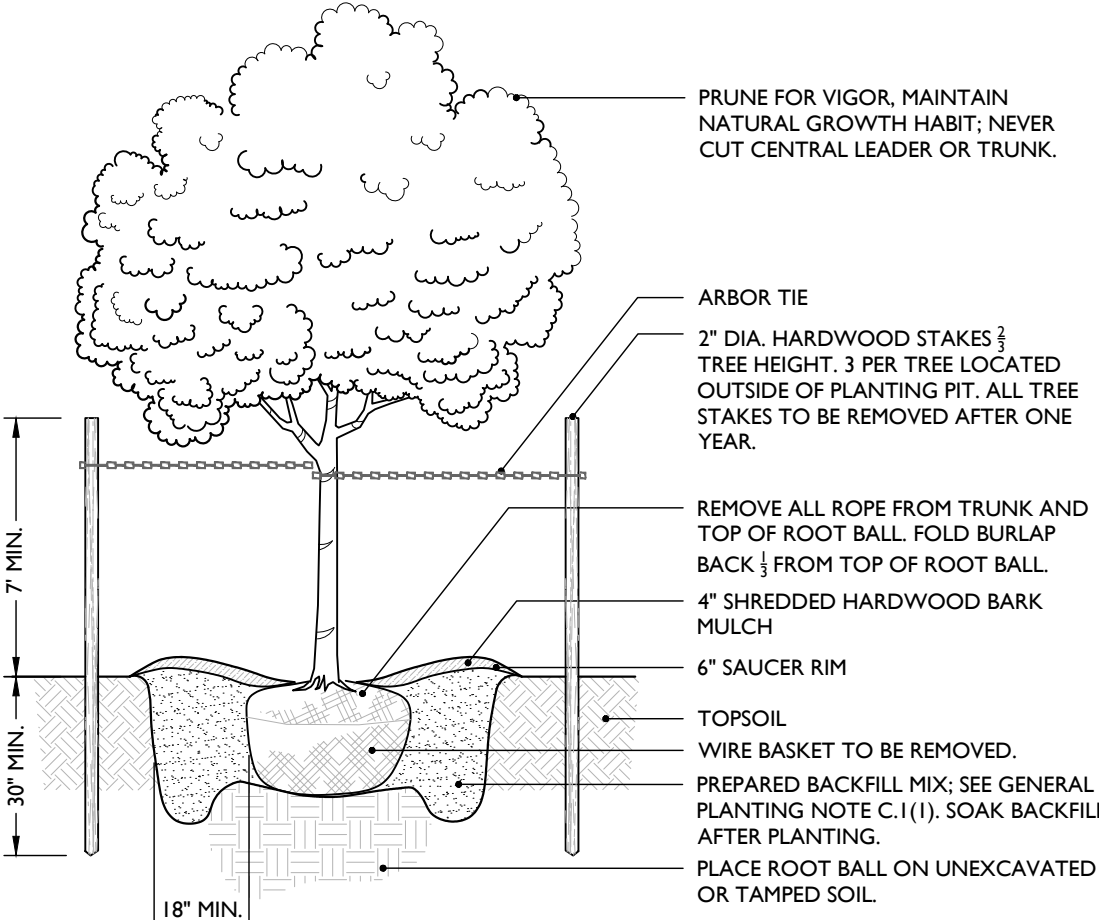




PLANT SCHEDULE

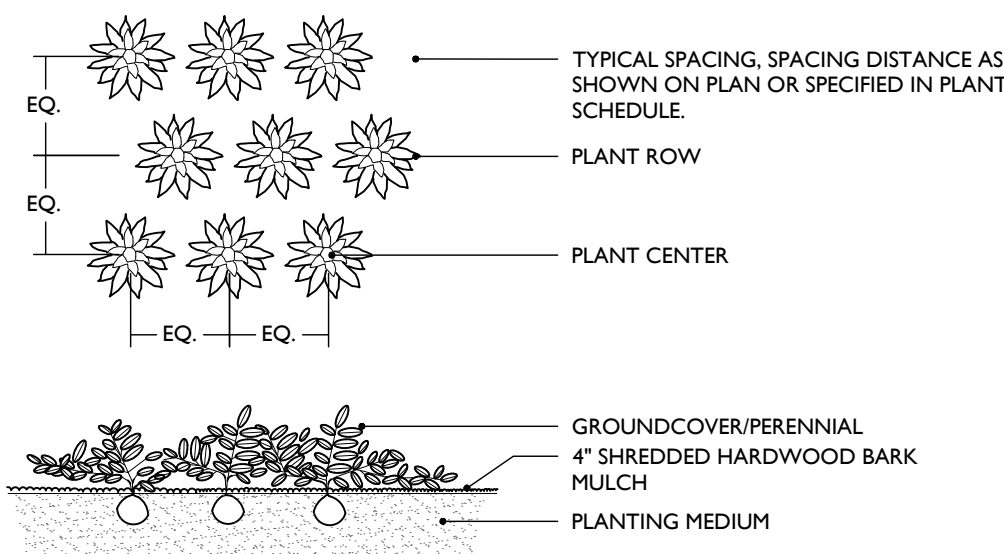
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS	
Zg	7	Zeikova serrata 'Green Vase'	Green Vase Sawleaf Zeikova	B & B	2.5" Cal	FALL DIGGING HAZARD	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS	
Cf	1	Cornus florida	Flowering Dogwood	B & B	2.5" Cal		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS	
Bg2	28	Buxus x 'Green Velvet'	Green Velvet Boxwood	24"-30" MIN.			
Cr	15	Cornus sericea	Red Twig Dogwood	24"-30" MIN.			
Hq	20	Hydrangea quercifolia	Oakleaf Hydrangea	30"-36" MIN.			
Is	18	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	24"-30" MIN.			
Js	17	Juniperus x pfitzeriana 'Sea Green'	Sea Green Pfitzer Juniper	24"-30" MIN.			
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
Jb	72	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	2 gal	36" O.C.	36" o.c.	
Lb	265	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1gal	18" O.C.	18" o.c.	

ORDINANCE REQUIREMENTS:  
158-38. OFF STREET PARKING REGULATIONS:  
D. (9) (c) PERIMETER PLANTING:  
**REQUIRED: 634 SF / 45 SF = 14 TREES REQUIRED @ 2.5" MIN. CALIPER**  
PROVIDED: 4 EXISTING TREES IN PARKING LOT ISLANDS, 2 AT FRONTAGE (N. ATHONTON ST.)  
8 PROPOSED TREES @ 2.5" MIN CALIPER  
14 TREES TOTAL PROVIDED



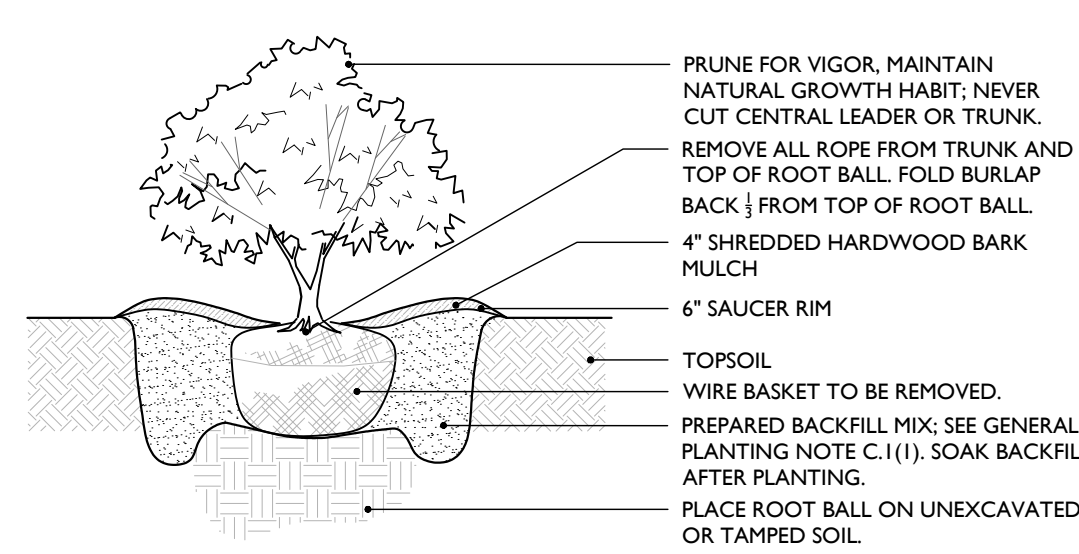
- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

DECIDUOUS TREE PLANTING DETAIL



- NOTES:
- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

GROUNDCOVER/PERENNIAL PLANTING DETAIL



- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

SHRUB PLANTING DETAIL

GENERAL PLANTING NOTES

LAND-GENL-PLNT-NOTE

10/14/2021

A. GENERAL

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
- OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.

B. PLANT MATERIAL

1. PLANT MATERIAL:

- PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2014 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY AMERICANHORT IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.
  - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
  - ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
  - PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
  - THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
2. PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
3. PLANT SIZE: THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
4. SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED BY THE CONTRACTOR.
5. GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR **ONE (1) YEAR** AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS DEAD WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN **ONE YEAR OR ONE** GROWING SEASON. TREE STAKES AND ARBOR TIES SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.

C. TOPSOIL REQUIREMENTS

1. TOPSOIL REQUIREMENTS: SEE NIDOT SECTION 917 FOR REFERENCE AND SOIL ADDITIVES.

- UNACCEPTABLE TOPSOIL SOURCES: DO NOT OBTAIN TOPSOIL FROM THE FOLLOWING SOURCES: AREAS CONTAINING CHEMICALLY CONTAMINATED SOILS, AREAS FROM WHICH THE ORIGINAL SURFACE HAS BEEN STRIPPED OR COVERED OVER, SUCH AS BORROW PITS, OPEN MINES, DEMOLITION SITES, DUMPS, LANDFILLS, NO TOPSOIL FROM WET EXCAVATION OR ACID PRODUCING SOILS.
- TOPSOIL SHALL BE UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARD PAN, SODS, LARGE STONE, CEMENT, ASH, SLAG, CONCRETE, TAR, BOARDS, CHIPS, MULCH, OR ANY OTHER UNDESIRABLE MATERIALS. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION.
- TOPSOIL PH REQUIREMENTS ARE AS FOLLOWS: PH < 4.1 TOPSOIL IS UNACCEPTABLE. 4.1 ≤ PH < 5.8 ADD PULVERIZED LIME TO INCREASE THE PH TO 6.5 BEFORE USE. 5.8 ≤ PH < 7.0 TOPSOIL IS ACCEPTABLE. NO REMEDIATION NEEDED. 7.0 ≤ PH < 7.2 DECREASE PH TO AT LEAST 6.8 BEFORE USE. PH ≥ 7.2 TOPSOIL IS UNACCEPTABLE.
- ORGANIC CONTENT: ENSURE THAT TOPSOIL HAS A MINIMUM ORGANIC CONTENT OF 2.75% BY WEIGHT. IF THE ORGANIC CONTENT IS LESS THAN 2.75%, INCREASE THE ORGANIC CONTENT BY ADDING SOIL ADDITIVES AT A RATE NECESSARY TO ATTAIN THE MINIMUM ORGANIC CONTENT. THE ORGANIC CONTENT SHALL NOT EXCEED 8% BY WEIGHT AND SHALL BE SAMPLED IN ACCORDANCE WITH THE ASSOCIATION OF AGRICULTURAL CHEMISTS.
- GRADATION/PARTICLE SIZE: PROVIDE TOPSOIL CONFORMING TO THE PARTICLE SIZE REQUIREMENTS IN TABLE 917.01.2 AND THAT HAS NO MORE THAN 20 PERCENT RETAINED ON A NO. 10 SIEVE WHEN MECHANICALLY GRADED. THE DEPARTMENT WILL DETERMINE THE PARTICLE SIZE DISTRIBUTION FOR THE PORTION OF THE TOPSOIL PASSING THE NO. 10 SIEVE USING HYDROMETER ANALYSIS ACCORDING TO AASHTO T 88. SAND (2.0 MM TO 0.05 MM) 40 - 80% COMPOSITION. SILT (0.05 MM TO 0.005 MM) 0 - 30% COMPOSITION. CLAY (0.005 MM AND SMALLER) 10 - 30% COMPOSITION.

2. PREPARATION OF SUBGRADE

- HOLLOW, DEPRESSIONS, AND GULLIES SHALL BE FILLED WITH ACCEPTABLE SANDY LOAM AS OUTLINED ABOVE OR SOIL AS DESCRIBED HEREON. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
- LOOSEN SUBSOIL BY SCARIFYING, RIPPING OR TILLING USING DISKS, HARROWS OR OTHER SUITABLE EQUIPMENT TO A DEPTH OF 4"-6" IMMEDIATELY BEFORE PLACING ANY TOPSOIL. REPEAT IN AREAS WHERE SEED OR PLANTINGS ARE PROPOSED AND THERE HAS BEEN COMPACTED SOIL.

3. TESTING AND APPROVAL OF SOILS:

- THE CONTRACTOR SHALL SUBMIT A CERTIFIED REPORT SHOWING THE ANALYSIS OF REPRESENTATIVE SAMPLES OF TOPSOIL. TESTING SHALL BE PERFORMED BY Rutgers COOPERATIVE RESEARCH & EXTENSION TESTING LABORATORIES OR EQUIVALENT AS APPROVED BY STATE AND LOCAL REGULATIONS. PRICE BID SHALL INCLUDE ALL INSPECTION AND LABORATORY FEES.

D. PLANTING PROCEDURES

1. PLANTING BEDS:

- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH SOILS AS OUTLINED IN SECTION C. PRIOR, BACKFILL SOIL TO BE AT MINIMUM ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
  - PLANTING BEDS SHALL RECEIVE FOUR (4) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR; UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
  - SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
2. PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
3. PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.

4. PLANTING METHODS:

- LOCAL ORDINANCE TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUIDED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.
- STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER.
- THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 1/2 TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL.
- TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF ARBOR TIE TREE TIE (1/2" WIDE RECOMMENDED FOR TREES UP TO 2 1/2 INCHES IN CALIPER).
- SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
- AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS.
- B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.
- CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1/2 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.

E. MAINTENANCE

1. PRUNING:

- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BROUSED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
  - SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
  - THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.
2. LAWN AREAS:
- THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
  - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE LAWN SEED MIX NOTES AND THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET.
  - SOD, IF SPECIFIED, SHALL CONSIST OF A STATE CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.
3. EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
4. SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

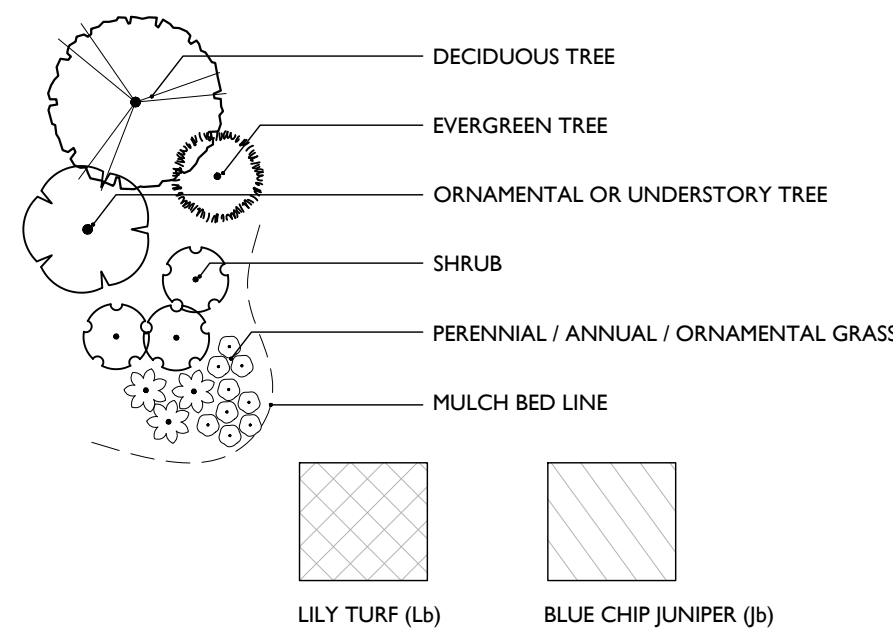
GENERAL NOTES

- THIS SHEET IS TO BE USED FOR LANDSCAPE PURPOSES ONLY.
- REFER TO SHEET 1 FOR GENERAL NOTES.

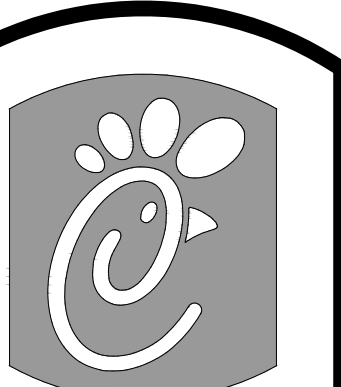
LANDSCAPE PLAN NOTES

- REFER TO THIS SHEET FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS.
- REFER TO THIS SHEET FOR PLANT SCHEDULES.
- PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS.
- THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
- LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. REFER TO THE LAWN SEED MIX NOTES ON THE LANDSCAPE DETAILS SHEET AND THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-00" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-00" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30' ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.

LANDSCAPE LEGEND



- NOTES:
- LANDSCAPE SYMBOLS ON THE PLAN VARY AND MAY DEVIATE FROM THE LANDSCAPE LEGEND SYMBOLS SHOWN ABOVE.



5200 Buffington Road  
Atlanta, Georgia  
30349-2998  
Telephone 404-765-8000

REV	DATE	DESCRIPTION
1	1/7/2022	REVISED PER UTILITY COORDINATION.

Seal



Justin Ryan Thornton  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE0083279  
COLLIER ENGINEERING & DESIGN, INC.

Colliers Engineering & Design

www.colliersengineering.com  
Doing Business as MASER  
1501 Revolution Drive  
Pittsburgh, PA 15203  
Phone 412.618.5190

STORE #2603  
STATE COLLEGE FSU

PARCEL #: 18-010-282

PATTON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

PRELIMINARY & FINAL  
MAJOR SITE PLAN

LANDSCAPE PLAN

DWG EDITION 2.0

- ☐ Preliminary  
☐ 80% Submittal  
☐ For Construction

File No.: 20005724A

Store: 2603

Date: 11/11/21

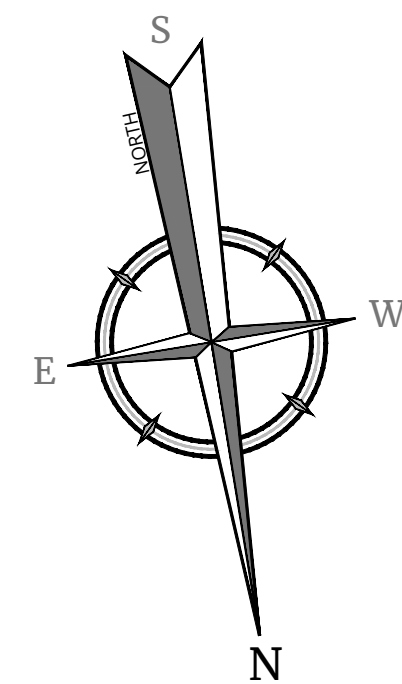
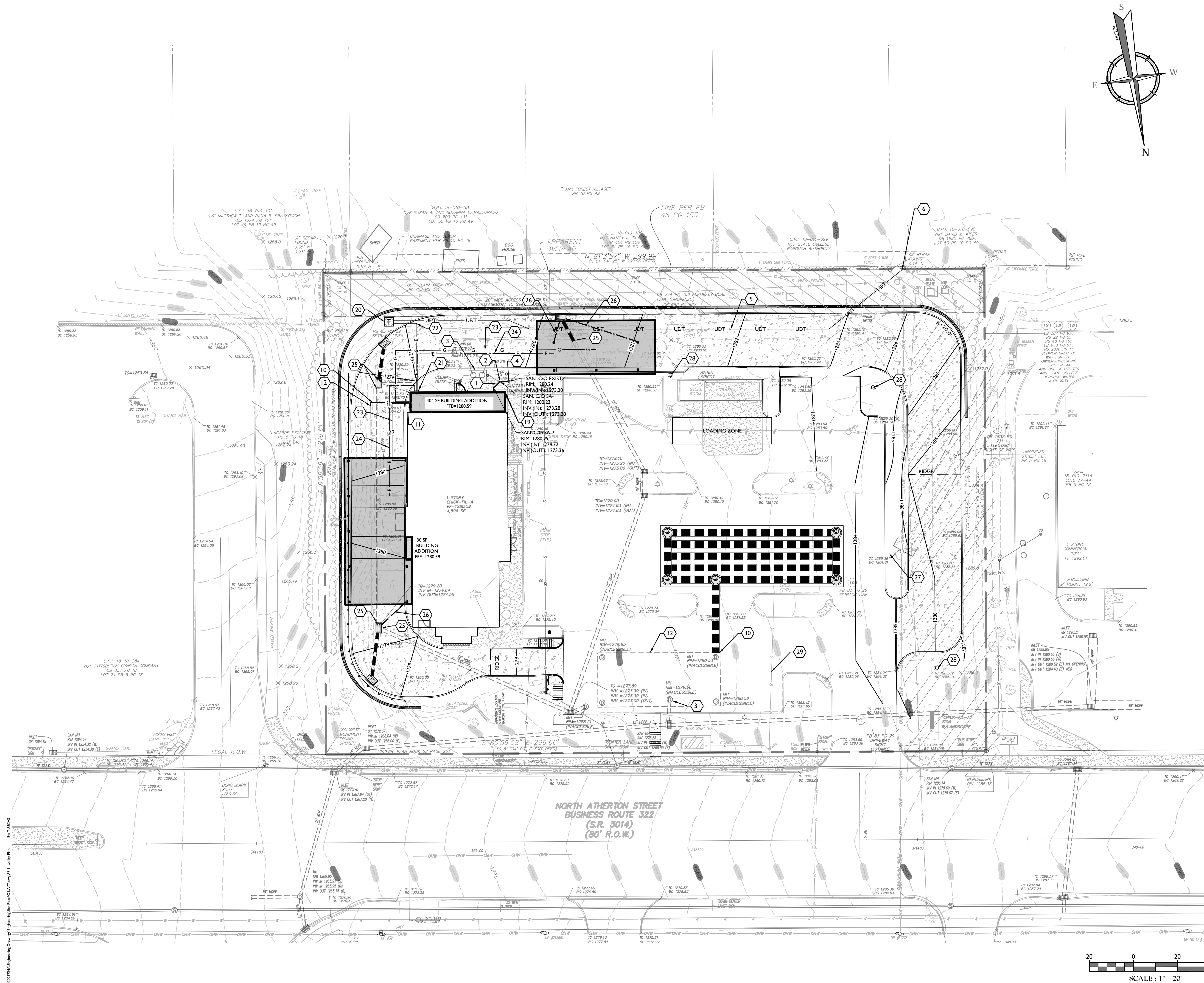
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Checked By: JRT

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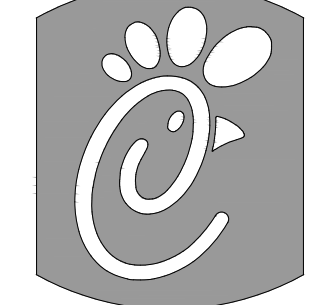


#### UTILITIES PLAN LEGEND

- 1 PROPOSED 4" PVC SDR 35 SAN LATERAL @ 2% MIN SLOPE
- 2 PROPOSED CLEAN-OUT (TYP.)
- 3 EXISTING EXTERIOR GREASE TRAP  
CONTRACTOR TO CLEAN AND INSPECT THE EXISTING  
GREASE TRAP. REPAIR OR REPLACE AS NECESSARY.
- 4 CONNECT TO EXIST SANITARY LINE
- 5 PROPOSED UNDERGROUND PRIMARY ELECTRIC/  
TELEPHONE SERVICE
- 6 CONNECT TO EXISTING ELEC/TELE SERVICE
- 7 PROPOSED 2" TYPE K COPPER DOMESTIC LINE
- 8 PROPOSED 5" DIP FIRE LINE
- 9 PROPOSED 3/4" CW TO DUMPST POST HYDRANT
- 10 PROPOSED GAS LINE
- 11 PROPOSED GAS METER
- 12 CONNECT TO EXISTING GAS LINE
- 13 PROPOSED 4" SCH 40 PVC CONDUIT
- 14 PROP. 4" PVC SDR 35 KITCHEN WASTE LINE @ 2% MIN
- 15 PROP. 4" PVC SDR 35 RESTROOM WASTE LINE@ 2% MIN
- 16 PROPOSED 8" HDPE @ 1.0 % ROOF DRAIN (TYP.)
- 17 PROPOSED 3" VENT LINE
- 18 PROPOSED WO-WAY CLEAN-OUT (TYP.)
- 19 CONNECT TO EXISTING WATER LATERAL TO BUILDING
- 20 EXISTING TRANSFORMER RELOCATION
- 21 PROPOSED ELECTRIC PANEL
- 22 THREE (3) 4" PVC CONDUITS WITH PULL STRING  
FOR SECONDARY ELECTRIC SERVICE  
TWO (2) 4" PVC CONDUITS WITH PULL STRINGS  
FOR TELEPHONE SERVICE  
ONE (1) 3" PVC CONDUIT WITH PULL STRING FOR  
CABLE SERVICE
- 23 PROPOSED CANOPY GAS LINE
- 24 PROPOSED CANOPY ELECTRIC LINE
- 25 RE-CONNECT EXISTING STORM PIPE
- 26 PROPOSED 4" PVC CANOPY DRAIN @ 1% (TYP.)
- 27 EXISTING UTILITY POLE TO BE COORDINATED WITH  
ELECTRIC COMPANY
- 28 EXISTING LIGHT POLE RELOCATION
- 29 ABANDONED GAS LINE TO BE FIELD VERIFIED BY CONTRACTOR
- 30 CONNECT STORM PIPE TO EXISTING STORM STRUCTURE
- 31 MODIFY UNDERGROUND BASIN OUTLET STRUCTURE
- 32 CONTRACTOR TO CLEAN AND INSPECT THE EXISTING  
UNDERGROUND BASIN AND PROVIDE A REPORT TO THE  
ENGINEER OF RECORD

#### LEGEND

EXISTING	PROPOSED



**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

Telephone 404-765-8000

TL	DATE	REV	DESCRIPTION
	1/7/2022		

Seal



Justin Ryan Thornton  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: P083279  
COLLIERS ENGINEERING & DESIGN, INC.

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Doing Business as **MASER**  
PITTSBURGH  
1560 Renaissance Drive  
Suite 302  
Pittsburgh, PA 15222  
Phone 412.618.5390

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**PATTON TOWNSHIP**  
**CENTRE COUNTY**  
**PENNSYLVANIA**

**PRELIMINARY & FINAL**  
**MAJOR SITE PLAN**

**UTILITY PLAN**

DWG EDITION 2.0

- ☐ Preliminary
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**PS 1**

Know what's below.  
Call before you dig.



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